

# PRELIMINARY AND FINAL SITE PLAN

FOR



PROPOSED AUTOZONE RETAIL STORE

AUTOZONE STORE #3644

BLOCK 6.07, LOT 14.02, TAX MAP SHEET #9

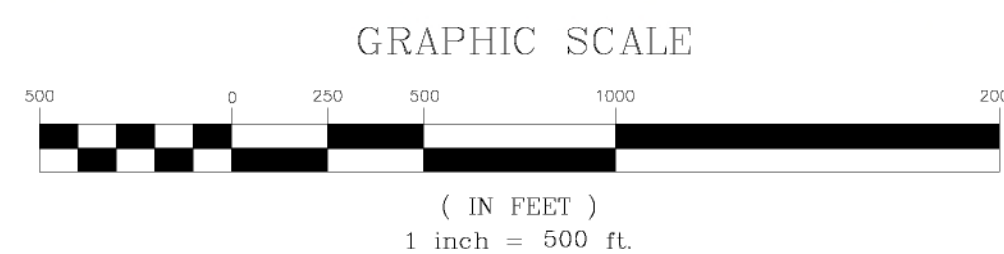
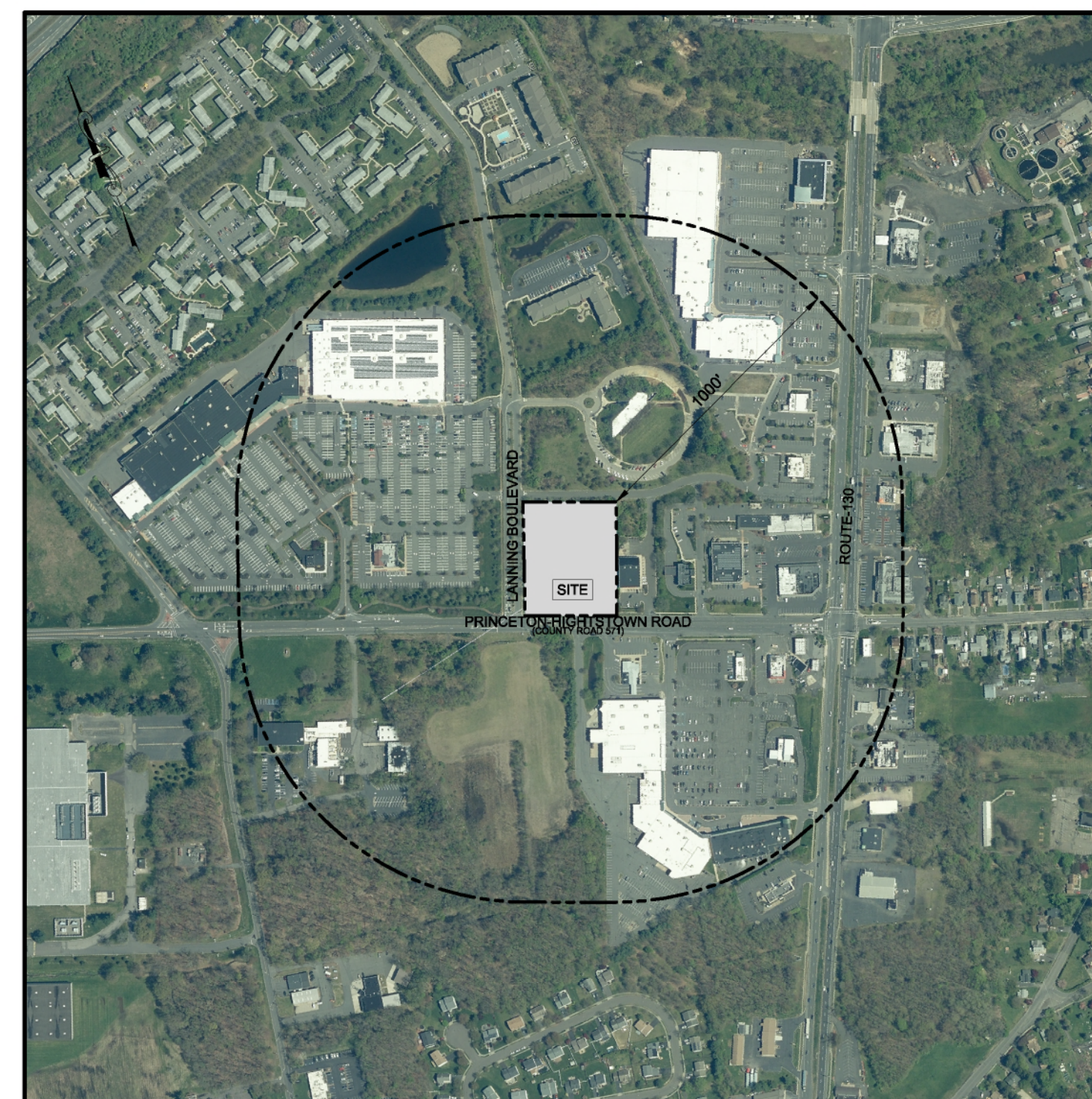
40-50 PRINCETON-HIGHTSTOWN ROAD

TOWNSHIP OF EAST WINDSOR, MERCER COUNTY, NEW JERSEY

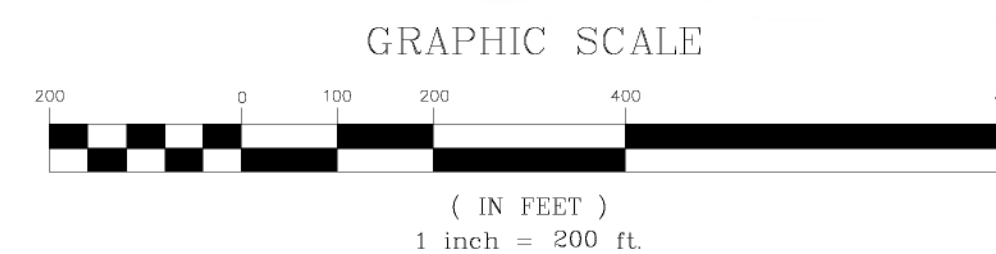
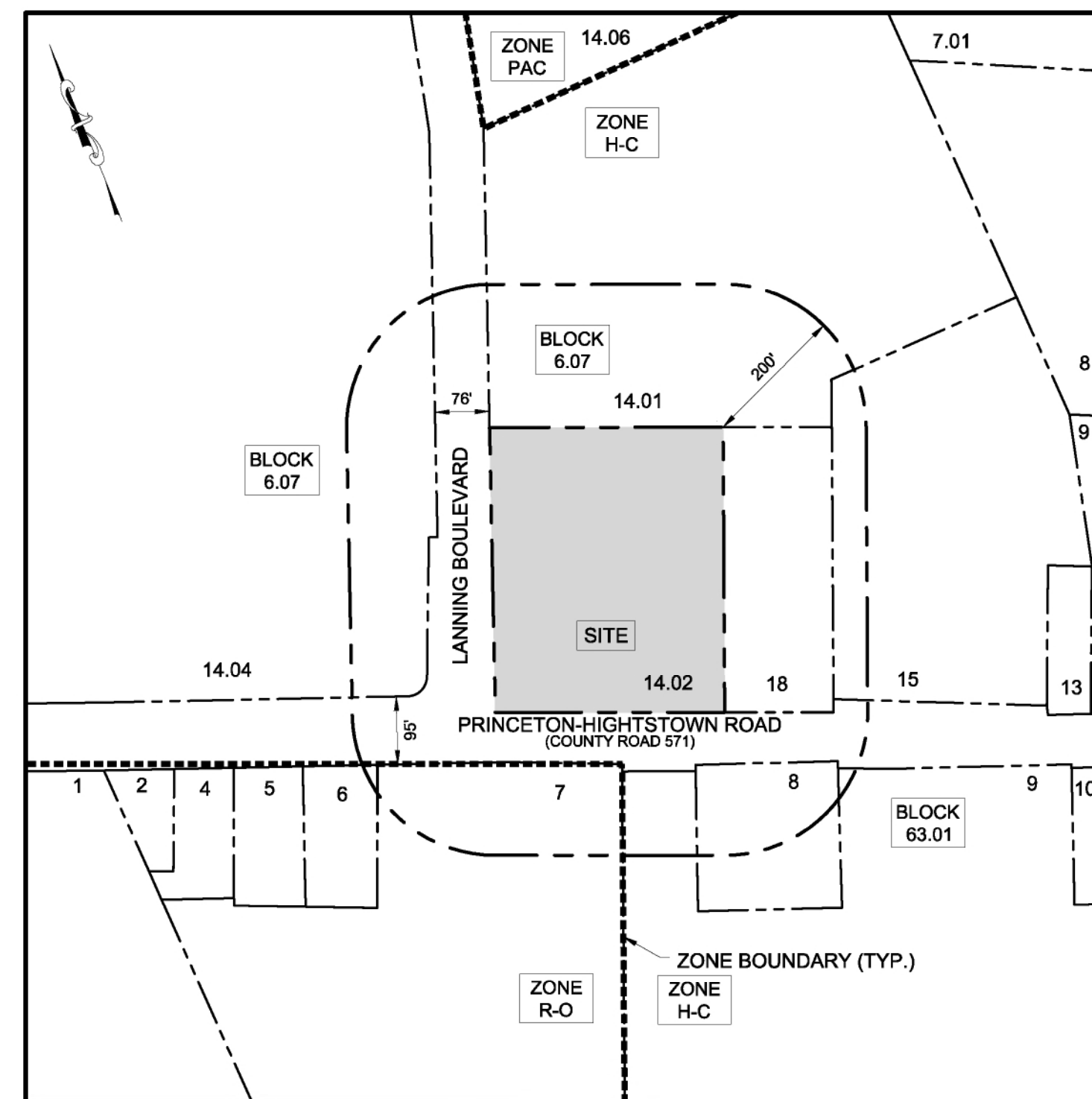
## LIST OF PROPERTY OWNERS WITHIN 200 FEET:

BLOCK	LOT(S)	OWNER/ADDRESS	BLOCK	LOT(S)	OWNER/ADDRESS
6.07	14.01	EAST WINDSOR TOWNSHIP 16 LANNING BLVD EAST WINDSOR, NJ 08520	6.07	18	SHIVAM HOLDING, LLC 89 JARVIS AVE STATEN ISLAND, NY 10312
6.07	14.04	KIR EAST WINDSOR, LLC C/O KIMCO 500 NORTH BROADWAY, #201 JERICHO, NY 11753	63.01	6	HWELL LIMITED LIABILITY COMPANY 209 MOUNTAIN PKWY GREEN BROOK, NJ 08812
6.07	15 D01	CADUNER FAMILY LP, I 18 PRINCETON-HIGHTST RD EAST WINDSOR, NJ 08520	63.01	7	HWELL LIMITED LIABILITY COMPANY 209 MOUNTAIN PKWY GREEN BROOK, NJ 08812
6.07	15 D02	CADUNER FAMILY LP, I 18 PRINCETON-HIGHTST RD EAST WINDSOR, NJ 08520	63.01	8	NJ NAT. BANK C/O THOMPSON REUTERS PO BOX 2609 CARLSBAD, CA 92018
			63.01	9	WINDSOR CORNER, LLC C/O MILLBROOK 42 BAYVIEW AVE MANHASSET, NY 11030
		AT&T R.A. WAGNER 175 WEST MAIN ST FREEHOLD, NJ 07728			MERCER COUNTY PLANNING BOARD ADMINISTRATION BLDG. P.O. BOX 8068 TRENTON, NJ 08650-8068
		COMCAST CABLEVISION GENERAL MANAGER P.O. BOX 790, 90 LAKE DR EAST WINDSOR, NJ 08520			PSEG CORPORATE SECRETARY P.O. BOX 600 NEWARK, NJ 07101
		DEPARTMENT OF TRANSPORTATION STATE OF NEW JERSEY 1035 PARKWAY AVE TRENTON, NJ 08650			TRANSCONTINENTAL GAS PIPELINE CORP. DISTRICT MANAGER 3200 SOUTH WOOD AVE LINDEN, NJ 07036-0005
		EAST WINDSOR UTILITIES AUTHORITY MR. TOD FRYER, GENERAL MANAGER 7 WILTSHIRE DR EAST WINDSOR, NJ 08520			VERIZON CORPORATE SECRETARY 540 BROAD STREET NEWARK, NJ 07101
		JCP&L C/O GPU ENERGY CORPORATE SECRETARY 300 MADISON AVE MORRISTOWN, NJ 07962			

**AERIAL MAP**  
SCALE: 1"=500'



**KEY MAP**  
SCALE: 1"=200'



## LIST OF AGENCY APPROVALS

TOWNSHIP OF EAST WINDSOR PLANNING BOARD
MERCER COUNTY PLANNING BOARD
MERCER COUNTY SOIL CONSERVATION DISTRICT
DELAWARE & RARITAN CANAL COMMISSION

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## APPROVAL BLOCK

APPROVED BY THE EAST WINDSOR TOWNSHIP PLANNING BOARD, MERCER COUNTY, NEW JERSEY	
BOARD CHAIRPERSON	DATE
BOARD SECRETARY	DATE

OWNER:

ROBERT J. NASUT  
C/O: SUMMERWODD CORP.  
14 BALLIGOMINGO ROAD, P.O. BOX 429  
CONSHOHOCKEN, PA 19428

APPLICANT:

AUTOZONE, NORTHEAST, LLC.  
C/O: DAVID BENTLEY  
123 S. FRONT STREET, 3rd FLOOR  
MEMPHIS, TENNESSEE 38103  
(901) 495-8729

ATTORNEY:

FRANCIS J. DEVITO  
ATTORNEYS AT LAW OF N.J. AND N.Y.  
250 MOONACHIE ROAD, SUITE 305  
MOONACHIE, NEW JERSEY 07074  
(201) 487-7575

ARCHITECT:

AUTOZONE, NORTHEAST, LLC.  
C/O: LEW ELLIS  
123 S. FRONT STREET, 3rd FLOOR  
MEMPHIS, TENNESSEE 38103  
(901) 495-8600

CIVIL ENGINEER:

NORTH STAR DESIGN, LLC  
C/O: THOMAS F. PUGSLEY, JR.  
361 ROUTE 31, BLDG E, SUITE 1404  
FLEMINGTON, NEW JERSEY 08822  
(908) 968-3499

PLAN SUBMITTAL DATE:  
7/20/22



REV.	DATE	REVISION COMMENT	BY:
1	11/10/22	REV. PER DRAINAGE CALCS	CM

PRELIMINARY AND FINAL  
SITE PLAN  
AUTOZONE (STORE #3644)  
BLOCK 6.07, LOT 14.02, TAX MAP SHEET #9  
40-50 PRINCETON-HIGHTSTOWN ROAD  
TOWNSHIP OF EAST WINDSOR  
MERCER COUNTY, NEW JERSEY

T. F. PUGSLEY, Jr.  
*Thomas F. Pugsley Jr.*  
PROFESSIONAL ENGINEER  
NJ LICENSE No. 43527

SHEET TITLE:

COVER SHEET

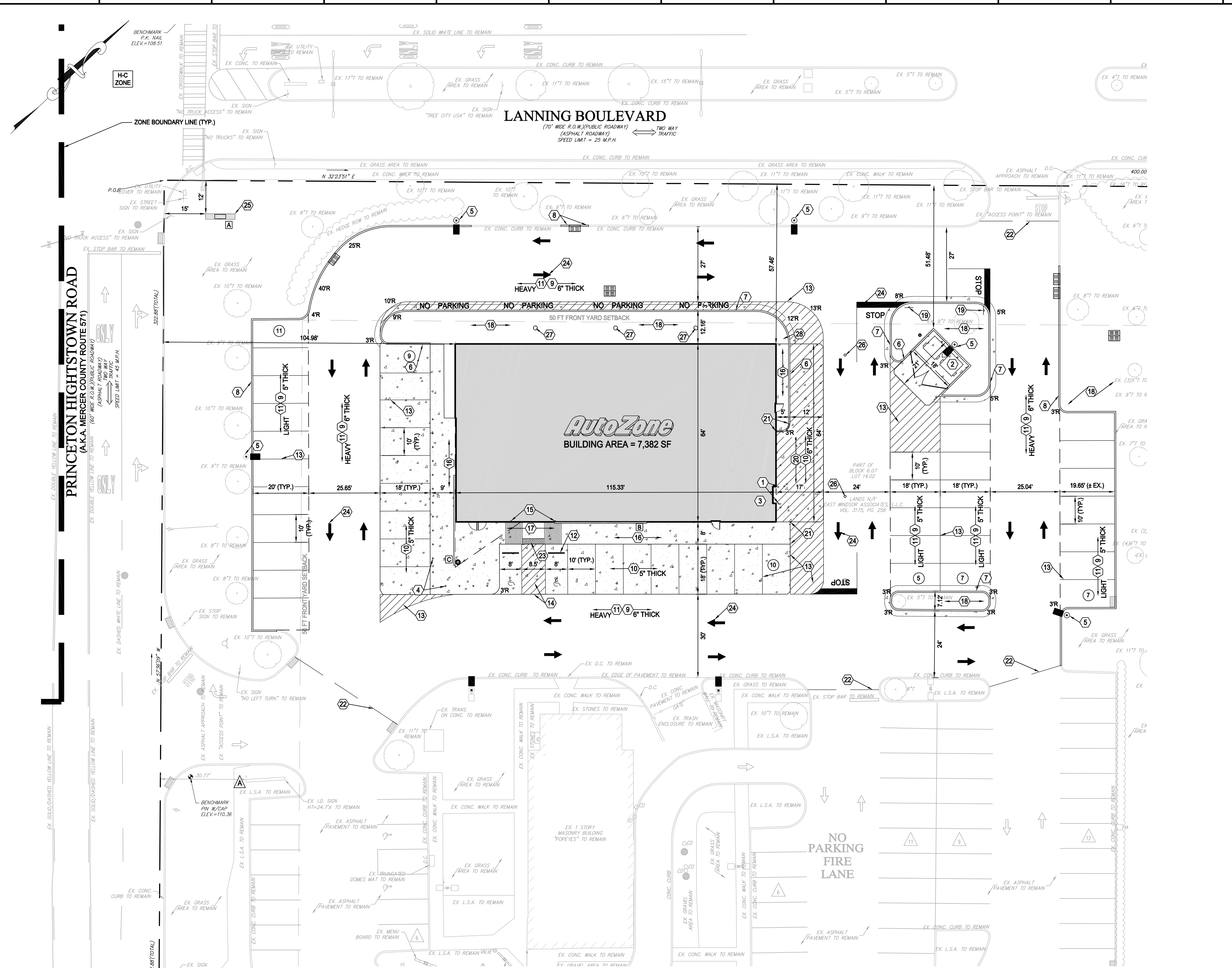
SHEET NO.:

C0.0  
1 OF 13

DESIGN DATE: 7/20/22  
DESIGNED BY: NJH  
CHECKED BY: TFP  
DRAWING SCALE: As Shown  
PROJECT #: 21-020  
CAD FILE: 21-020CS01  
ZONING DISTRICT: H-C ZONE

REVISION 1 11/10/22





**SITE PLAN NOTES:**

- SUBJECT PROPERTY IS LOCATED AT 40-50 PRINCETON-HIGHTSTOWN ROAD IN THE TOWNSHIP OF EAST WINDSOR, AND IS KNOWN AS BLOCK 6.07, LOT 14.02 AS SHOWN ON THE OFFICIAL TAX MAP OF EAST WINDSOR. THE PARCEL IS 129,152 SF (2.965 AC) IN SIZE.
- PROPERTY OWNER: ROBERT J NASUT  
C/O SUMMERWOOD CORP.  
14 BALLOONING ROAD, P.O. BOX 429  
CONSHOHOCKEN, PA 19429
- APPLICANT: AUTOZONE NORTHEAST, LLC  
C/O DAVID BENTLEY  
123 S. FRONT STREET, 3RD FLOOR  
MEMPHIS, TN 38103
- ZONING INFORMATION:  
• PROPERTY IS LOCATED IN THE H-C ZONE (HIGHWAY COMMERCIAL).  
• RETAIL SERVICES ARE A PERMITTED USE

**BULK TABLE:**

PRINCIPAL BUILDING MINIMUM:	H-C ZONE	
	PERMITTED	PROPOSED
LOT AREA	60,000 SF	129,152 SF
LOT WIDTH	250 FT	322.88 FT
PRINCIPAL BUILDING YARDS:		
FRONT YARD (PRINCETON-HIGHTSTOWN ROAD)	50 FT	109.7 FT (PERKINS) / 104.98 FT (AUTOZONE)
FRONT YARD (LANNING BLVD)	50 FT	50.8 FT (PERKINS) / 57.46 FT (AUTOZONE)
SIDE YARD	20 FT	47.23 FT (POPEYES) / 47.23 FT (AUTOZONE)
REAR YARD	35 FT	202.00 FT (PERKINS) / 179.20 FT (AUTOZONE)
MAX. BUILDING COVERAGE	20%	6.7% / 8.1%
MAX. IMPROVEMENT COVERAGE	80%	64.2% / 63.9%
MAX. BUILDING HEIGHT (FEET)	40 FT	±19.4 FT (PERKINS) / ±19 FT (AUTOZONE)
MAX. FLOOR AREA RATIO	0.3	0.087 / 0.081

(EN) = EXISTING NON-COMFORMITY (V) = VARIANCE REQUESTED (NA) = NOT APPLICABLE

- PARKING REQUIREMENTS: (SECTION 19A-2.3)  
MIN. PARKING STALL SIZE (SECTION 22-9.2)  
REQUIRED: 10' X 18'  
PROPOSED: 10' X 18' OR 10' X 20'
- WIDTH OF AISLES (SECTION 22-9.2)  
90° ANGLE TWO-WAY  
REQUIRED WIDTH: (TWO WAY) = 24 FT.  
PROPOSED WIDTH: (TWO WAY) = > 24 FT.
- MIN. NUMBER OF REQUIRED PARKING SPACES (SECTION 19A-2.3(B))  
PROPOSED RETAIL STORE REQUIREMENT: 5 PARKING SPACES/1,000 SF GROSS LEASING AREA  
REQUIRED: 7,328 SF / 1,000 = 7.328 X 5 = 37 SPACES  
EXISTING RESTAURANT REQUIREMENT: 1 SPACE/40 SF OF PATRON DEVOATED FLOOR AREA ± 1,600 SF FOR PATRON USE / 40 SF = 40 SPACES  
TOTAL SPACES REQUIRED: 77 SPACES  
TOTAL SPACES PROPOSED: 102 SPACES  
TOTAL EXISTING SPACES: 128 SPACES  
TOTAL PARKING SPACE REDUCTION: 24 SPACES
- LOADING REQUIREMENTS (SECTION 19A-2.4(A))  
MIN. REQUIRED NUMBER OF LOADING SPACES:  
RESTAURANT: ONE (1) SPACE PER USES BETWEEN 2,000-10,000 SF  
RETAIL: ONE (1) SPACE PER USES BETWEEN 2,000-10,000 SF  
REQUIRED: TWO (2) SPACES  
EXISTING: ONE (1) SPACE (PERKINS) (EN)  
PROPOSED: ONE (1) SPACE (AUTOZONE) (EN)

**PARKING SPACE SUMMARY**

AUTOZONE:	49 SPACES
POPEYES:	53 SPACES
TOTAL:	102 SPACES

- KEYNOTES**
- Pipe Guard - see details 15/ C1.6
  - Dumpster layout - see details 8,9,10 & 11/ C1.6
  - Service Door Plan - see detail 14/ C1.6
  - Ballard Plan - see detail 13/ C1.6
  - Concrete light pole base - See Details 12/ C1.6. All light fixtures in direction as indicated.
  - Curb & gutter @ concrete paving - see detail 1 / C1.6
  - Curb & gutter @ asphalt paving - see detail 2 / C1.6
  - Concrete vertical curb - see detail 20 / C1.6
  - G.C. to provide alternate bid for concrete paving, where noted
  - Concrete paving - see det. 4/ C1.6 Expansion and Control joints - see det. 22 & 23/ C1.6. Maximum spacing for control joints is 19' O.C. each way.
  - Asphalt paving - see det. 3/ C1.6.
  - 6'-0" long concrete wheel stop pinned to pavement (typical). Locate 3'-6" from face of curb or sidewalk. See detail 16 / C1.6
  - 4" wide parking stripe painted white (typ.)
  - 4" wide diagonal stripes painted blue at 2 ft. O.C.
  - Handicap parking sign - see detail 19/ C1.6. G.C. to provide (1) Van Accessible signs.
  - Concrete sidewalk - see detail 5 & 27/ C1.6 for sidewalks around building
  - Accessible Ramp - See detail 18/ C1.6 - Max. slope 1:12 (8.33%), Max. cross slope 1:50 (2.00%) Truncated dome to be a contrasting color.
  - New landscape area - Provide 3" topsoil & sod. See sheet L1.0 for additional information
  - Stop Sign - See Detail 5, sheet C1.7
  - Loading Area: slope at max. 2-1/2% away from building.
  - Contractor to paint curbing yellow within area indicated
  - Sawcut and remove existing asphalt for installation of site features
  - Truncated Dome - See detail 3, sheet C1.7
  - Stop Bar and Pavement Markings - See detail 1 sheet C1.7
  - Freestanding Sign
  - Sanitary Sewer Cleanout - See Detail 3, sheet C1.8
  - Storm Sewer Cleanout - See Detail 4, sheet C1.8
  - Freezeless Yard Hydrant

- GENERAL NOTES**
- Proof roll building and all parking areas. Notify the Architect of any unacceptable areas.
  - Edge of new pavement to be flush with existing pavement.
  - All sidewalk curb and gutter street paving, curb cuts, driveway approaches, handicap ramp, etc. constructed outside the property lines in the right-of-way shall conform to all municipal and/or state specifications and requirements.
  - For areas outside the property lines, repair and/or replace all damage done to existing elements (sidewalks, paving, landscaping, etc.) as required by owner and/or governing authority.
  - For proposed utility locations, see the utility plan.

**811 Know what's below. Call before you dig.**

**SIGNAGE TABLE:**

PERMITTED:	EXISTING:	PROPOSED:
<p>WALL SIGNAGE: SECTION 20-5.16.7(a)</p> <p>1. SUCH SIGNS SHALL NOT PROJECT MORE THAN 18 INCHES FROM THE BUILDING FACADE TO WHICH IT IS ATTACHED. PROVIDED WHEN A SIGN EXTENDS MORE THAN THREE INCHES FROM THE FACE OF THE WALL, THE BOTTOM OF THE SIGN SHALL NOT BE CLOSER THAN NINE FEET FROM THE GROUND LEVEL AT THE SIGN.</p> <p>2. THE TOTAL DISPLAY AREA OF ALL FACADE SIGNS ON ANY FACADE OF ANY BUILDING PERMITTED PURSUANT TO PARAGRAPH A3 HEREOF SHALL NOT EXCEED 10% OF THE AREA INCLUDING WINDOWS AND DOORS OF THE FACADE OF THE BUILDING TO WHICH THE SIGN IS ATTACHED.</p> <p>- PROP. AUTOZONE - SOUTH FACADE - (64' X 21' = 1,344 SF X 0.10 = 134.4 SF) - EAST FACADE - (115.33' X 21' = 2,421.93 SF X 0.10 = 242.19 SF) - MAX PERMITTED IS LESSER OF TWO FACADES WITH SIGNAGE = 134.4 SF PERMITTED (PER FACADE WITH SIGN)</p> <p>3. ONE FACADE SIGN IS PERMITTED FOR EACH OCCUPANCY WITHIN A DEVELOPED PARCEL. HOWEVER, IF SUCH BUILDING IS NOT PART OF A SHOPPING CENTER AND IS SITUATED ON A CORNER PROPERTY OR OTHERWISE AS FRONTAGE ON MORE THAN ONE STREET, ONE ADDITIONAL FACADE SIGN FOR EACH OCCUPANCY WILL BE PERMITTED ON THE ABUTTING WALL, PROVIDED THAT EACH FACADE SIGN IS NO LARGER THAN THE SIZE OF THE SIGN PERMITTED ON THE SMALLER OF THE TWO BUILDING WALLS, AND PROVIDED FURTHER THAT NO ILLUMINATED SIGN SHALL BE ERRECTED FACING A RESIDENTIAL ZONE AND THAT NO SIGN SHALL EXTEND BEYOND THE FACADE OF A BUILDING OR EXTEND HIGHER THAN THE HIGHEST ELEVATION OF THE FACADE TO WHICH IT IS ATTACHED. IN THE DETERMINATION OF ALLOWABLE FACADE SIGNS FOR INDIVIDUAL OCCUPANTS, ONE FACADE SIGN SHALL BE PERMITTED FOR EACH FACADE OF A BUILDING WHICH HAS A PUBLIC ENTRANCE, BUT IN ANY EVENT NO FACADE OF A BUILDING WILL BE PERMITTED TO HAVE MORE THAN ONE FACADE SIGN FOR EACH OCCUPANCY.</p> <p>- NUMBER OF FACADE SIGNS PERMITTED: 3</p> <p>FREESTANDING SIGNAGE: SECTION 20-5.16(b)</p> <p>1. THE TOTAL PERMITTED AREA OF A FREESTANDING SIGN SHALL NOT EXCEED ONE SQUARE FOOT OF SIGN AREA FOR EACH LINEAR FOOT OF STREET FRONTAGE ABUTTING THE DEVELOPED PORTION OF SAID PARCEL PROVIDED THAT NO SIGN SHALL EXCEED 150 SQUARE FEET. - PRINCETON-HIGHTSTOWN ROAD FRONTAGE = 322.88 LF = PERMITTED SIGN AREA = 150 SF - LANNING BOULEVARD FRONTAGE = 400.00 LF = PERMITTED SIGN AREA = 150 SF</p> <p>2. THE MAXIMUM HEIGHT PERMITTED FOR FREESTANDING SIGNS IS 25 FEET. NO PORTION OF ANY FREESTANDING SIGN SHALL BE PLACED CLOSER THAN 12 FEET TO ANY STREET RIGHT-OF-WAY.</p> <p>5. WHERE A PREMISES FRONTS ON MORE THAN ONE PUBLIC RIGHT-OF-WAY, AT LEAST ONE SIGN SHALL BE PERMITTED ON EACH SUCH STREET FRONTAGE AND ADDITIONAL SIGNS SHALL BE ALLOWED IN ACCORDANCE WITH THE PROVISIONS OF THIS SUBSECTION. FOR PURPOSES OF MEASUREMENT OF FRONTAGE, EACH SEPARATE STREET FRONTAGE SHALL BE TREATED INDEPENDENTLY OF ANOTHER. THE DISTANCE BETWEEN SIGNS OF 300 FEET, AS CALLED FOR IN PARAGRAPH B4 ABOVE, SHALL APPLY ONLY TO FREESTANDING SIGNS ON THE SAME STREET FRONTAGE, AND NOT TO SIGNS WHICH ARE LOCATED ALONG DIFFERENT STREET FRONTS.</p> <p>- NUMBER OF FREESTANDING SIGNS PERMITTED: 2</p>	<p>NUMBER OF SIGNS = 2</p> <p>SIGN AREA: PERKINS: SOUTH FACADE = ±80 SF EAST FACADE = ±80 SF</p> <p>SIGN PROJECTION: PERKINS: SOUTH FACADE = ±8 INCHES EAST FACADE = ±8 INCHES</p>	<p>NUMBER OF SIGNS = 2 (COMPLIES)</p> <p>SIGN AREA: AUTOZONE: SOUTH FACADE = 97.5 SF (COMPLIES) EAST FACADE = 100 SF (COMPLIES)</p> <p>SIGN PROJECTION: AUTOZONE: SOUTH FACADE = 5 INCHES (COMPLIES) EAST FACADE = 5 INCHES (COMPLIES)</p>
<p>1. THE TOTAL PERMITTED AREA OF A FREESTANDING SIGN SHALL NOT EXCEED ONE SQUARE FOOT OF SIGN AREA FOR EACH LINEAR FOOT OF STREET FRONTAGE ABUTTING THE DEVELOPED PORTION OF SAID PARCEL PROVIDED THAT NO SIGN SHALL EXCEED 150 SQUARE FEET. - PRINCETON-HIGHTSTOWN ROAD FRONTAGE = 322.88 LF = PERMITTED SIGN AREA = 150 SF - LANNING BOULEVARD FRONTAGE = 400.00 LF = PERMITTED SIGN AREA = 150 SF</p>	<p>TOTAL NUMBER OF SIGNS = 2 (COMPLIES)</p> <p>LANNING BLVD = 1 (EX. PERKINS) PRINCETON-HIGHTSTOWN RD = 1 (EX. POPEYES)</p> <p>SIGN AREA: LANNING BLVD (EX. PERKINS) = ±82 SF PRINCETON-HIGHTSTOWN RD (EX. POPEYES) = ±80 SF</p> <p>SIGN HEIGHT: LANNING BLVD (EX. PERKINS) = ±8.4 FT PRINCETON-HIGHTSTOWN RD (EX. POPEYES) = ±24.7 FT</p> <p>SIGN SETBACK: LANNING BLVD (EX. PERKINS) = ±16.04 FT PRINCETON-HIGHTSTOWN RD (EX. POPEYES) = ±30.77 FT</p>	<p>TOTAL NUMBER OF SIGNS = 2 (COMPLIES)</p> <p>LANNING BLVD = 1 (AUTOZONE) PRINCETON-HIGHTSTOWN RD = 1 (POPEYES) (EX.)</p> <p>SIGN AREA: LANNING BLVD (AUTOZONE) = 68.25 SF (COMPLIES) PRINCETON-HIGHTSTOWN RD (POPEYES) = ±80 SF</p> <p>SIGN HEIGHT: LANNING BLVD (AUTOZONE) = 15 FT (COMPLIES) PRINCETON-HIGHTSTOWN RD (POPEYES) = ±24.7 FT</p> <p>SIGN SETBACK: LANNING BLVD (AUTOZONE) = 12 FT (COMPLIES) PRINCETON-HIGHTSTOWN RD (POPEYES) = ±30.77 FT</p>

**PERMITTED:**

WALL SIGNAGE: SECTION 20-5.16.7(a)

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2. THE TOTAL DISPLAY AREA OF ALL FACADE SIGNS ON ANY FACADE OF ANY BUILDING PERMITTED PURSUANT TO PARAGRAPH A3 HEREOF SHALL NOT EXCEED 10% OF THE AREA INCLUDING WINDOWS AND DOORS OF THE FACADE OF THE BUILDING TO WHICH THE SIGN IS ATTACHED.

- PROP. AUTOZONE - SOUTH FACADE - (64' X 21' = 1,344 SF X 0.10 = 134.4 SF)  
- EAST FACADE - (115.33' X 21' = 2,421.93 SF X 0.10 = 242.19 SF)  
- MAX PERMITTED IS LESSER OF TWO FACADES WITH SIGNAGE = 134.4 SF PERMITTED (PER FACADE WITH SIGN)

3. ONE FACADE SIGN IS PERMITTED FOR EACH OCCUPANCY WITHIN A DEVELOPED PARCEL. HOWEVER, IF SUCH BUILDING IS NOT PART OF A SHOPPING CENTER AND IS SITUATED ON A CORNER PROPERTY OR OTHERWISE AS FRONTAGE ON MORE THAN ONE STREET, ONE ADDITIONAL FACADE SIGN FOR EACH OCCUPANCY WILL BE PERMITTED ON THE ABUTTING WALL, PROVIDED THAT EACH FACADE SIGN IS NO LARGER THAN THE SIZE OF THE SIGN PERMITTED ON THE SMALLER OF THE TWO BUILDING WALLS, AND PROVIDED FURTHER THAT NO ILLUMINATED SIGN SHALL BE ERRECTED FACING A RESIDENTIAL ZONE AND THAT NO SIGN SHALL EXTEND BEYOND THE FACADE OF A BUILDING OR EXTEND HIGHER THAN THE HIGHEST ELEVATION OF THE FACADE TO WHICH IT IS ATTACHED. IN THE DETERMINATION OF ALLOWABLE FACADE SIGNS FOR INDIVIDUAL OCCUPANTS, ONE FACADE SIGN SHALL BE PERMITTED FOR EACH FACADE OF A BUILDING WHICH HAS A PUBLIC ENTRANCE, BUT IN ANY EVENT NO FACADE OF A BUILDING WILL BE PERMITTED TO HAVE MORE THAN ONE FACADE SIGN FOR EACH OCCUPANCY.

- NUMBER OF FACADE SIGNS PERMITTED: 3

FREESTANDING SIGNAGE: SECTION 20-5.16(b)

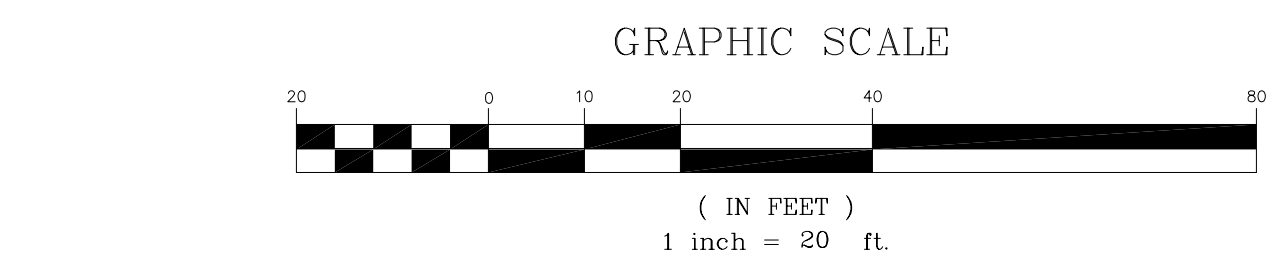
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- LANNING BOULEVARD FRONTAGE = 400.00 LF = PERMITTED SIGN AREA = 150 SF

2. THE MAXIMUM HEIGHT PERMITTED FOR FREESTANDING SIGNS IS 25 FEET. NO PORTION OF ANY FREESTANDING SIGN SHALL BE PLACED CLOSER THAN 12 FEET TO ANY STREET RIGHT-OF-WAY.

5. WHERE A PREMISES FRONTS ON MORE THAN ONE PUBLIC RIGHT-OF-WAY, AT LEAST ONE SIGN SHALL BE PERMITTED ON EACH SUCH STREET FRONTAGE AND ADDITIONAL SIGNS SHALL BE ALLOWED IN ACCORDANCE WITH THE PROVISIONS OF THIS SUBSECTION. FOR PURPOSES OF MEASUREMENT OF FRONTAGE, EACH SEPARATE STREET FRONTAGE SHALL BE TREATED INDEPENDENTLY OF ANOTHER. THE DISTANCE BETWEEN SIGNS OF 300 FEET, AS CALLED FOR IN PARAGRAPH B4 ABOVE, SHALL APPLY ONLY TO FREESTANDING SIGNS ON THE SAME STREET FRONTAGE, AND NOT TO SIGNS WHICH ARE LOCATED ALONG DIFFERENT STREET FRONTS.

- NUMBER OF FREESTANDING SIGNS PERMITTED: 2

- PROPOSED SIGN LEGEND**
- A AUTOZONE FREESTANDING SIGN
  - B AUTOZONE SIGN (EAST FACADE)
  - C AUTOZONE SIGN (SOUTH FACADE)
- EXISTING SIGN LEGEND**
- A POPEYES FREESTANDING SIGN



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**AUTOZONE (STORE #3644)**  
BLOCK 6.07, LOT 14.02, TAX MAP SHEET #9  
40-50 PRINCETON-HIGHTSTOWN ROAD  
TOWNSHIP OF EAST WINDSOR  
MERCER COUNTY, NEW JERSEY

**T. F. PUGSLEY, Jr.**  
*T. F. Pugsley Jr.*  
PROFESSIONAL ENGINEER  
NJ LICENSE NO. 43527

SHEET TITLE:  
**SITE PLAN**

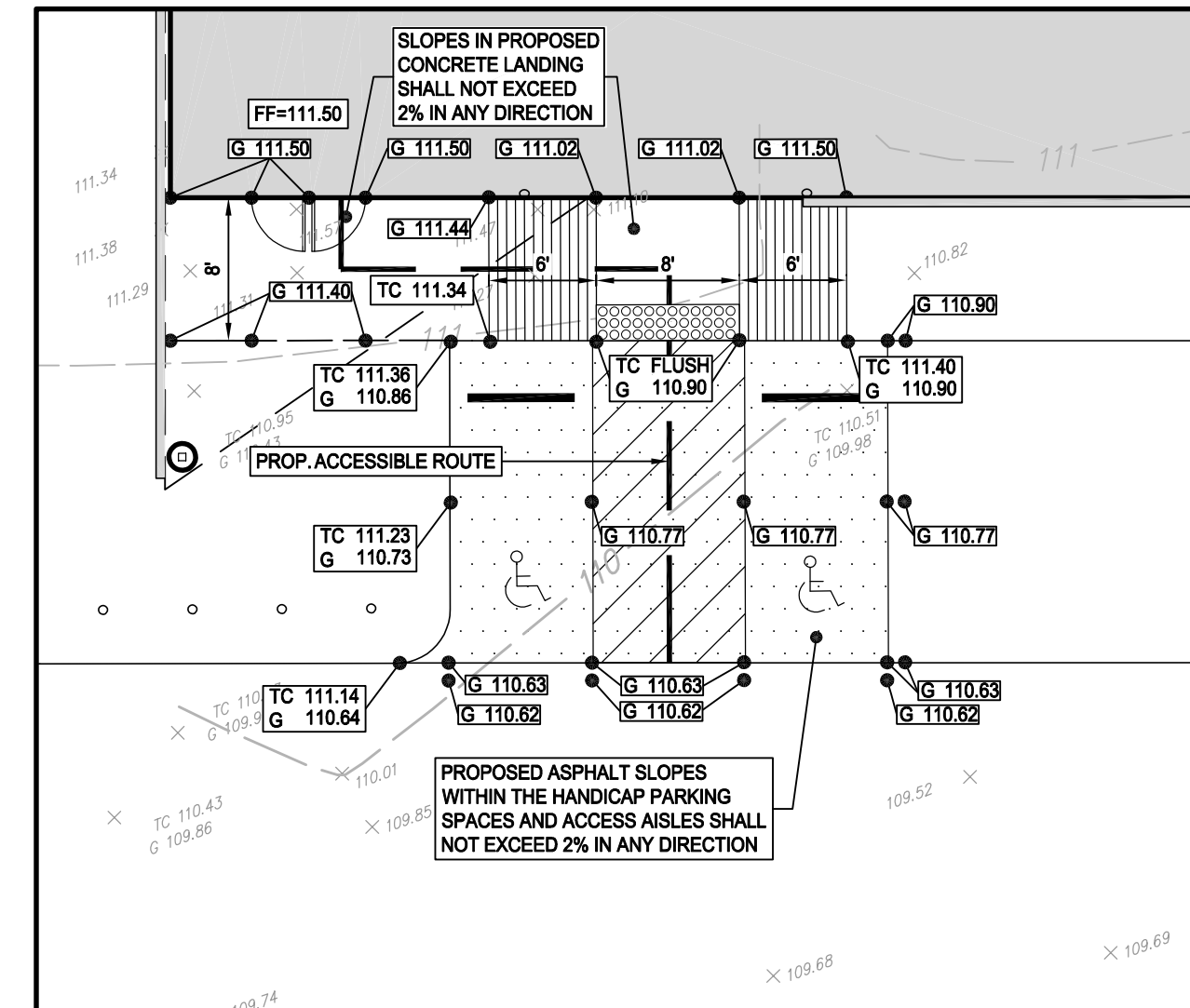
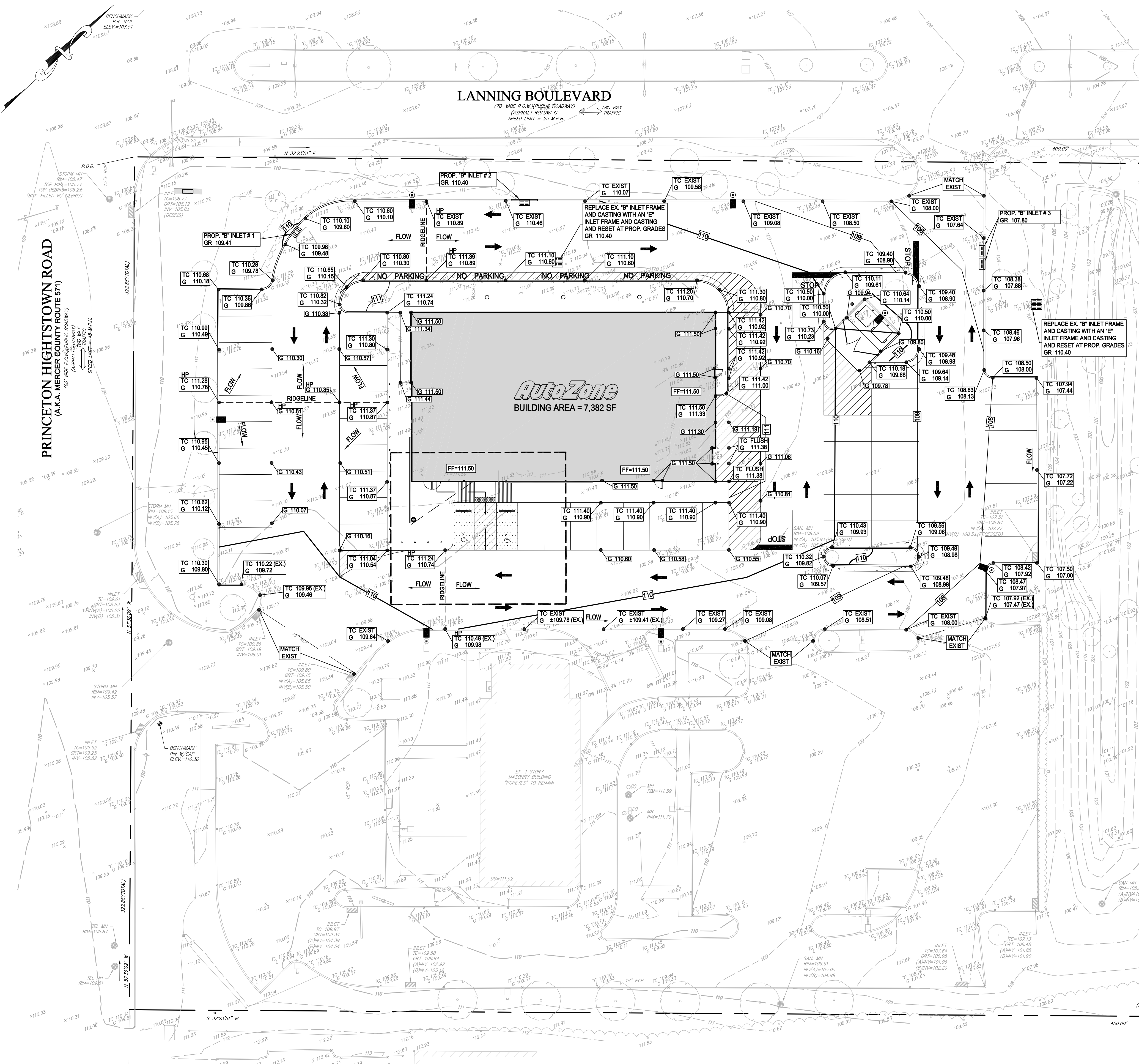
SHEET NO.:  
**C1.1**  
3 OF 13

DESIGN DATE: 7/20/22  
DESIGNED BY: NHP  
CHECKED BY: TFP  
DRAWING SCALE: As Shown  
PROJECT #: 21-020  
CAD FILE: 21-020SS01  
ZONING DISTRICT: H-C ZONE

REVISION 1 11/10/22

NorthStarDesign LLC  
CIVIL & CONSULTING ENGINEERS

PHONE: 908-968-3499 FAX: 908-968-3291  
36 ROUTE 51, BLDG. 501, SUITE 1404  
WWW.NORTHSTARDESIGNLLC.COM  
NJ CERTIFICATE OF AUTHORIZATION NO. 246389900



INSET 'A'  
SCALE: 1"=10'

**GRADING NOTES:**

1. THE BOUNDARY AND/OR TOPOGRAPHIC SURVEY AND GEOTECHNICAL REPORT SHALL BE CONSIDERED PART OF THESE DOCUMENTS.
2. CONTRACTOR TO INSTALL THE PROPOSED IMPROVEMENTS TO COMPLY WITH THE DESIGN STANDARDS PROVIDED IN THE LATEST ADA AND NJ BARRIER FREE REGULATIONS.
3. CONTRACTOR IS RESPONSIBLE FOR REVIEWING ALL DESIGN DRAWINGS AND SPECIFICATIONS PRIOR TO INITIATING CONSTRUCTION. SHOULD ANY CONFLICTS BE IDENTIFIED BETWEEN THE DESIGN DOCUMENTS AND/OR RELATIVE CODES, THE DESIGN ENGINEER SHOULD IMMEDIATELY BE ADVISED IN WRITING.
4. FINISHED GRADE SLOPES WITHIN THE LIMITS OF THE HANDICAP PARKING SPACES AND ITS ASSOCIATED STRIPED AREAS SHALL NOT EXCEED 2% IN ANY DIRECTION.
5. FINISHED GRADE SLOPES ALONG THE ACCESSIBLE ROUTE SHALL NOT HAVE A CROSS SLOPE OF MORE THAN 2% AND A LONGITUDINAL SLOPE MORE THAN 5%.
6. A MINIMUM OF 5 FT OF A MAXIMUM OF 2% SLOPES IN ANY DIRECTION MUST BE PROVIDED AT ALL ADA ACCESSIBLE ENTRANCES TO THE BUILDINGS.
7. THE CONTRACTOR SHALL VERIFY ALL EXISTING GRADES PRIOR TO CONSTRUCTION. IN ORDER TO PREVENT THE PONDING OF WATER, ALL GRADES SHALL HAVE A MINIMUM SLOPE OF THE FOLLOWING UNLESS OTHERWISE NOTED ON THE PLAN: 0.75% ALONG GUTTERLINES AND CURB LINES, 1% ALONG ALL CONCRETE AREAS AND 1.5% ALONG ALL PAVEMENT SURFACES. SHOULD ANY DISCREPANCIES ARISE BETWEEN THESE MINIMUMS AND THE PLANS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IN WRITING.
8. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXISTING TOPOGRAPHY PRIOR TO COMMENCING CONSTRUCTION. ANY DISCREPANCIES SHOULD IMMEDIATELY BE PROVIDED TO THE DESIGN ENGINEER IN WRITING. PROCEEDING WITHOUT PROPER NOTIFICATION IS DONE AT THE CONTRACTOR'S OWN RISK.
9. CONTRACTOR IS RESPONSIBLE FOR PROVIDING A SMOOTH TRANSITION BETWEEN THE PROPOSED ASPHALT AND THE EXISTING ASPHALT TO REMAIN. POSITIVE DRAINAGE IS TO BE PROVIDED TO PREVENT PONDING. ANY PONDING CREATED AS A RESULT OF THE INSTALLATION OF THE PROPOSED IMPROVEMENTS SHALL BE REPAIRED BY CONTRACTOR AT THEIR OWN COST.
10. PRIOR TO INITIATING CONSTRUCTION, CONTRACTOR SHALL CONTACT THE NJ ONE CALL SYSTEM BY DIALING 811 OR 1-800-272-1000 TO LOCATE ALL EXISTING UTILITY INFRASTRUCTURE WITHIN THE LIMIT OF DISTURBANCE.
11. THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT POSSIBLE WITH THE LATEST OSHA STANDARDS AND REGULATIONS OR ANY OTHER AGENCY HAVING JURISDICTION.
12. PROPOSED CURBING SHALL HAVE A 6" REVEAL UNLESS OTHERWISE NOTED ON THE DESIGN DRAWINGS.
13. THE PROPOSED IMPROVEMENTS HAVE BEEN DESIGNED TO BE CONSISTENT WITH THE EXISTING TOPOGRAPHY AND DRAINAGE PATTERNS. UPON COMPLETION OF CONSTRUCTION, ANY DRAINAGE ISSUES AROUND THE LIMITS OF THE PROPOSED IMPROVEMENTS SHALL BE MODIFIED TO ENSURE POSITIVE DRAINAGE.

REV.	DATE	REVISION COMMENT	BY:
1	11/10/22	REV. PER DRAINAGE CALCS	CM

**PRELIMINARY AND FINAL  
SITE PLAN**  
**AUTOZONE (STORE #3644)**  
BLOCK 6.07, LOT 14.02, TAX MAP SHEET #9  
40-50 PRINCETON-HIGHTSTOWN ROAD  
TOWNSHIP OF EAST WINDSOR  
MERCER COUNTY, NEW JERSEY

**T. F. PUGSLEY, Jr.**  
*T. F. Pugsley Jr.*  
PROFESSIONAL ENGINEER  
NJ LICENSE No. 43527

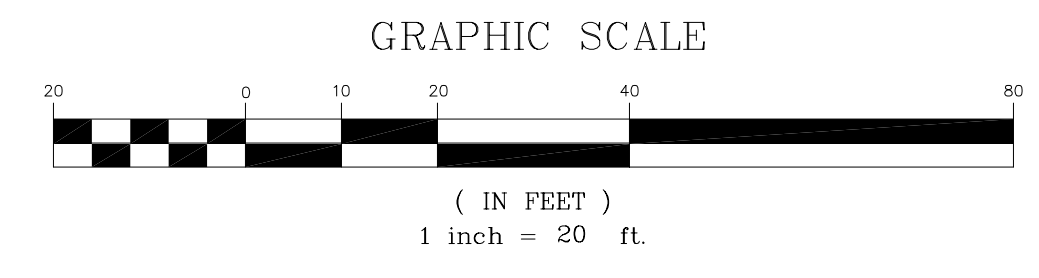
SHEET TITLE:  
**GRADING &  
DRAINAGE  
PLAN**

SHEET NO.:  
**C1.2**  
4 OF 13

DESIGN DATE: 7/20/22  
DESIGNED BY: NJH  
CHECKED BY: TFP  
DRAWING SCALE: As Shown  
PROJECT #: 21-020  
CAD FILE: 21-020SS01  
ZONING DISTRICT: H-C ZONE

REVISION 1 11/10/22

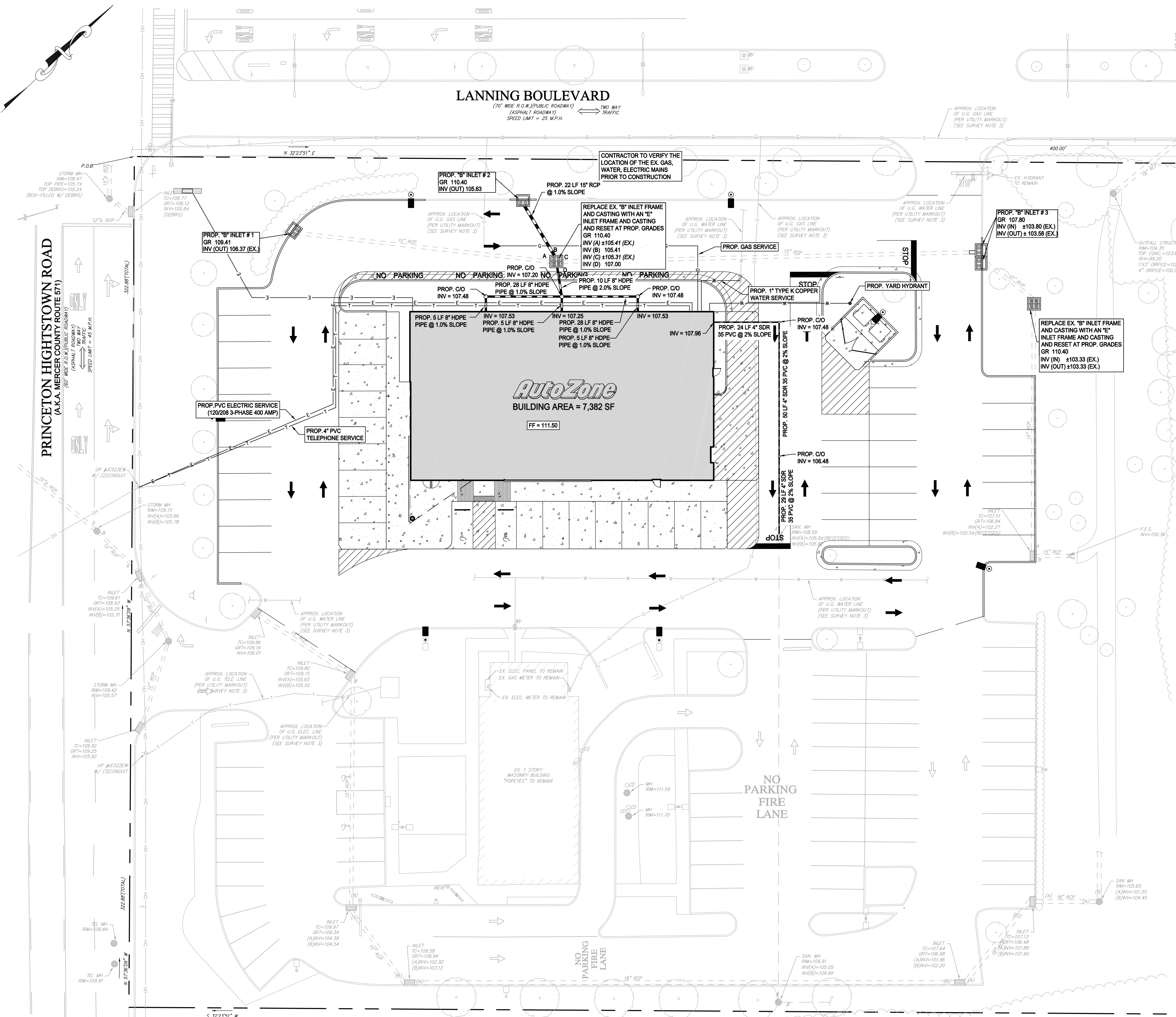
- LEGEND**
- TC XXXX TOP OF CURB ELEVATION
  - G XXXX GRADE ELEVATION
  - HP HIGH POINT
  - FLUSH G XXXX TOP OF CURB ELEVATION IS FLUSH WITH GRADE
  - MATCH EXIST MATCH EXISTING TOP OF CURB AND GRADE ELEVATIONS



**NorthStarDesign LLC**  
CIVIL & CONSULTING ENGINEERS  
PHONE: 908-968-3499 FAX: 908-968-3291  
36 ROUTE 31, BLDG. SUITE 1404  
WWW.NORTHSTARDESIGNLLC.COM  
NJ CERTIFICATE OF AUTHORIZATION No. 246389900



NOTE:  
AUTOZONE TO REIMBURSE GENERAL CONTRACTOR FOR ALL SANITARY SEWER, GAS, AND WATER TAP FEES.



**UTILITY NOTES:**

1. THE LOCATIONS OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE RESPECTIVE UTILITY COMPANIES FOR A MARKOUT PRIOR TO CONSTRUCTION. CONTRACTOR SHALL UTILIZE THE ONE-CALL SYSTEM (DIAL 811) AND/OR ANY OTHER APPLICABLE UNDERGROUND UTILITY NOTIFICATION SYSTEM. ANY EXISTING ON-SITE UTILITY SERVICES SHALL BE LOCATED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY DISCREPANCIES BETWEEN THE PROPOSED PLAN AND THE EXISTING UTILITY LOCATIONS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER IN WRITING.
2. ALL CONNECTION POINTS SHALL BE CONFIRMED IN THE FIELD AND SHALL BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY PRIOR TO CONSTRUCTION. ANY UTILITY CROSSINGS INVOLVING EXISTING UTILITIES SHALL BE FIELD VERIFIED VIA TEST FITS PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR IS RESPONSIBLE TO PROTECT ALL EXISTING ABOVEGROUND AND UNDERGROUND FEATURES AND UTILITIES DURING CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AT NO COST TO THE OWNER.
4. ALL PROPOSED UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE APPLICABLE UTILITY COMPANY REGULATIONS.
5. THE CONTRACTOR IS RESPONSIBLE TO REVIEW ALL DRAWINGS AND APPLICABLE CODES PRIOR TO CONSTRUCTION. SHOULD A CONFLICT ARISE BETWEEN THE PLANS AND SPECIFICATIONS AND THE APPLICABLE CODES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING.
6. ANY UTILITY THAT IS PROPOSED TO BE ABANDONED WILL BE DONE SO BY THE CONTRACTOR IN ACCORDANCE WITH THE APPLICABLE CODES AND REGULATIONS.
7. THE FINAL UTILITY SIZES AND UTILITY CONNECTION POINTS INTO THE BUILDING SHALL BE DESIGNED BY THE PROJECT ARCHITECT. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND FAMILIARIZING THEMSELVES WITH THE FINAL ARCHITECTURAL PLANS. ANY DISCREPANCIES BETWEEN THE SITE PLANS AND THE ARCHITECTURAL PLANS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER IN WRITING.
8. ALL UTILITY COMPONENTS, SUCH AS VALVES, FITTINGS, ETC, SHALL BE IN ACCORDANCE WITH THE LOCAL UTILITY COMPANY HAVING JURISDICTION.
9. ALL BACKFILL MATERIAL, ASPHALT MATERIAL, SUBBASE MATERIAL AND ASSOCIATED CONSTRUCTION PROCEDURES AND REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND FAMILIARIZING THEMSELVES WITH SAID REPORT.
10. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, LOCAL AND THE LATEST OSHA STANDARDS AND REQUIREMENTS AT ALL TIMES. THE CONTRACTOR IS RESPONSIBLE FOR THE "MEANS AND METHODS" OF CONSTRUCTION WHILE STILL MAINTAINING COMPLIANCE WITH OSHA. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. NORTH STAR DESIGN, LLC AND/OR ITS SUBCONSULTANTS HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONTRACTOR IN CONNECTION WITH THEIR WORK AND/OR SAFETY PROCEDURES.
11. ANY REMOVAL OF SOIL AND/OR DEBRIS SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LAW AND REGULATIONS.
12. THE CONTRACTOR SHALL VERIFY ALL EXISTING GRADES PRIOR TO CONSTRUCTION.
13. THE CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION AND POSITIVE DRAINAGE BETWEEN EXISTING ASPHALT/CONCRETE AND PROPOSED ASPHALT/CONCRETE.
14. FOR GRAVITY SYSTEMS SUCH AS STORM SEWER SYSTEMS AND SANITARY SEWER SYSTEMS, THE CONSTRUCTION SHALL START AT THE LOWEST INVERT AT THE TIE-IN POINT AND CONTINUE UPSTREAM TO THE HIGHEST POINT.
15. CONTRACTOR IS RESPONSIBLE FOR ALL DEWATERING MEASURES REQUIRED TO CONSTRUCT THE PROPOSED IMPROVEMENTS.
16. CONTRACTOR TO BE RESPONSIBLE FOR VERIFYING AND APPLYING FOR UTILITY SERVICE WITH EACH UTILITY COMPANY PRIOR TO STARTING CONSTRUCTION.
17. CONTRACTOR TO BE RESPONSIBLE FOR STREET BORE, IF REQUIRED BY THE TOWNSHIP OF EAST WINDSOR.
18. BACKFLOW PREVENTOR TO BE LOCATED WITHIN THE PROPOSED STRUCTURES.
19. A PULL ROPE SHALL BE PROVIDED FROM CONNECTION POINT TO TELEPHONE BOARD LOCATION IN BUILDING.
20. CONTRACTOR TO ADVISE BOARD ENGINEER A MINIMUM OF 48 HOURS IN ADVANCE OF RESETTING EXISTING 15" PIPES. CONTRACTOR TO PROVIDE PHOTOGRAPHS AND REPORT OF PIPE RESETTING TO THE BOARD ENGINEER FOR THEIR FILES.

**UTILITY CONTACT INFORMATION:**

PHONE: VERIZON  
540 BROAD STREET  
NEWARK, NJ 07101

PHONE: AT&T  
175 WEST MAIN ST  
FREEHOLD, NJ 07728

CABLE: COMCAST CABLEVISION  
P.O. BOX 790, 90 LAKE DRIVE  
EAST WINDSOR, NJ 08520

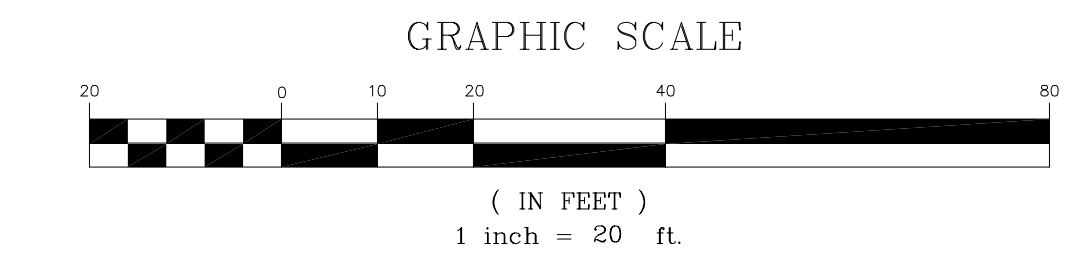
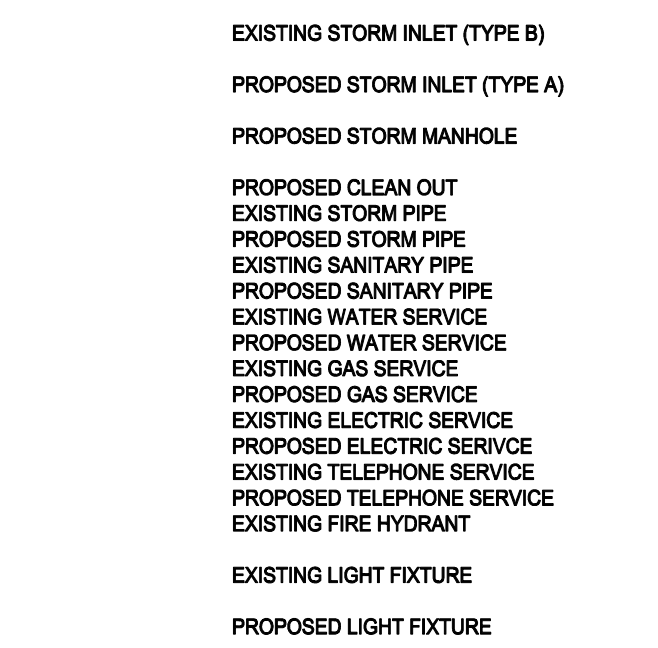
WATER & SEWER: EAST WINDSOR UTILITIES AUTHORITY  
7 WILTSHIRE DRIVE  
EAST WINDSOR, NJ 08520

GAS: TRANSCONTINENTAL GAS PIPE LINE CORP.  
3200 SOUTH WOOD AVE  
LINDEN, NJ 07036-0005

ELECTRIC: PSE&G CO.  
PO BOX 900  
NEWARK, NJ 07101  
(973) 450-7135

ELECTRIC: JCP&L C/O GPU ENERGY  
300 MADISON AVE  
MORRISTOWN, NJ 07962

**UTILITY LEGEND**



**NorthStarDesign LLC**  
CIVIL & CONSULTING ENGINEERS

PHONE: 908-968-3499 FAX: 908-968-3291  
36 ROUTE 31, BUILDING SUITE 1404  
WWW.NORTHSTARDESIGNLLC.COM  
NJ CERTIFICATE OF AUTHORIZATION No. 2463839000

REV.	DATE	REVISION COMMENT	BY:
1	11/10/22	REV. PER DRAINAGE CALCS	CM

**PRELIMINARY AND FINAL  
SITE PLAN**

**AUTOZONE (STORE #3644)**  
BLOCK 6.07, LOT 14-02, TAX MAP SHEET #9  
40-50 PRINCETON-HIGHTSTOWN ROAD  
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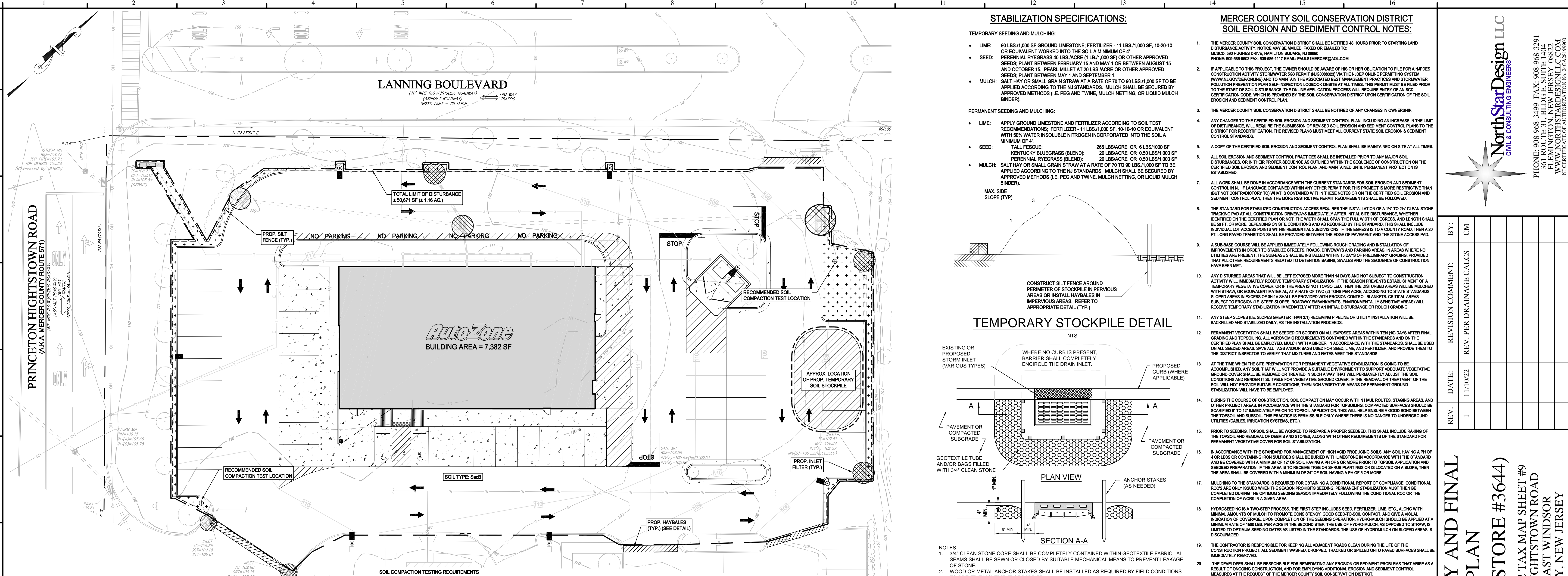
**T. F. PUGSLEY, Jr.**  
*T. F. Pugsley Jr.*  
PROFESSIONAL ENGINEER  
NJ LICENSE No. 435527

SHEET TITLE:  
**UTILITY PLAN**

SHEET NO.:  
**C1.3**  
5 OF 13

DESIGN DATE:	7/20/22
DESIGNED BY:	NJH
CHECKED BY:	TFP
DRAWING SCALE:	As Shown
PROJECT #:	21-020
CAD FILE:	21-020SS01
ZONING DISTRICT:	H-C ZONE
REVISION 1	11/10/22





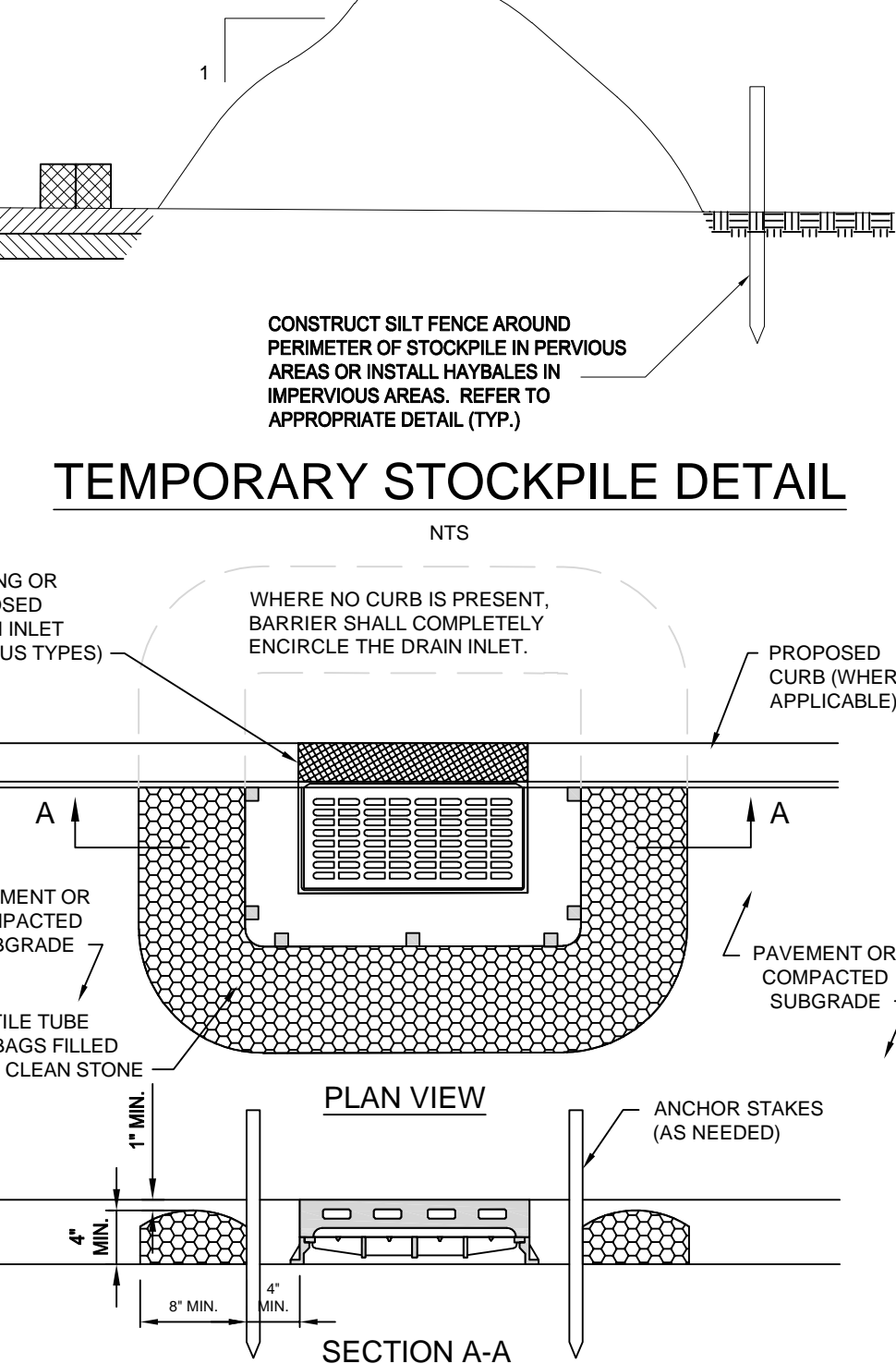
**STABILIZATION SPECIFICATIONS:**

- TEMPORARY SEEDING AND MULCHING:**
- LIME:** 90 LBS./1,000 SF GROUND LIMESTONE; FERTILIZER - 11 LBS./1,000 SF, 10-20-10 OR EQUIVALENT WORKED INTO THE SOIL A MINIMUM OF 4"
  - SEED:** PERENNIAL RYEGRASS 40 LBS./ACRE (1 LB./1,000 SF) OR OTHER APPROVED SEEDS; PLANT BETWEEN FEBRUARY 15 AND MAY 1 OR BETWEEN AUGUST 15 AND OCTOBER 15. PEARL MILLET AT 20 LBS./ACRE OR OTHER APPROVED SEEDS; PLANT BETWEEN MAY 1 AND SEPTEMBER 1.
  - MULCH:** SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 10 TO 20 LBS./1,000 SF TO BE APPLIED ACCORDING TO THE NJ STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
- PERMANENT SEEDING AND MULCHING:**
- LIME:** APPLY GROUND LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS; FERTILIZER - 11 LBS./1,000 SF, 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN INCORPORATED INTO THE SOIL A MINIMUM OF 4".
  - SEED:** TALL FESCUE: 265 LBS./ACRE OR 8 LBS./1,000 SF KENTUCKY BLUEGRASS (BLEND): 20 LBS./ACRE OR 0.50 LBS./1,000 SF PERENNIAL RYEGRASS (BLEND): 20 LBS./ACRE OR 0.50 LBS./1,000 SF
  - MULCH:** SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 10 TO 20 LBS./1,000 SF TO BE APPLIED ACCORDING TO THE NJ STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).

**MERCER COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL NOTES:**

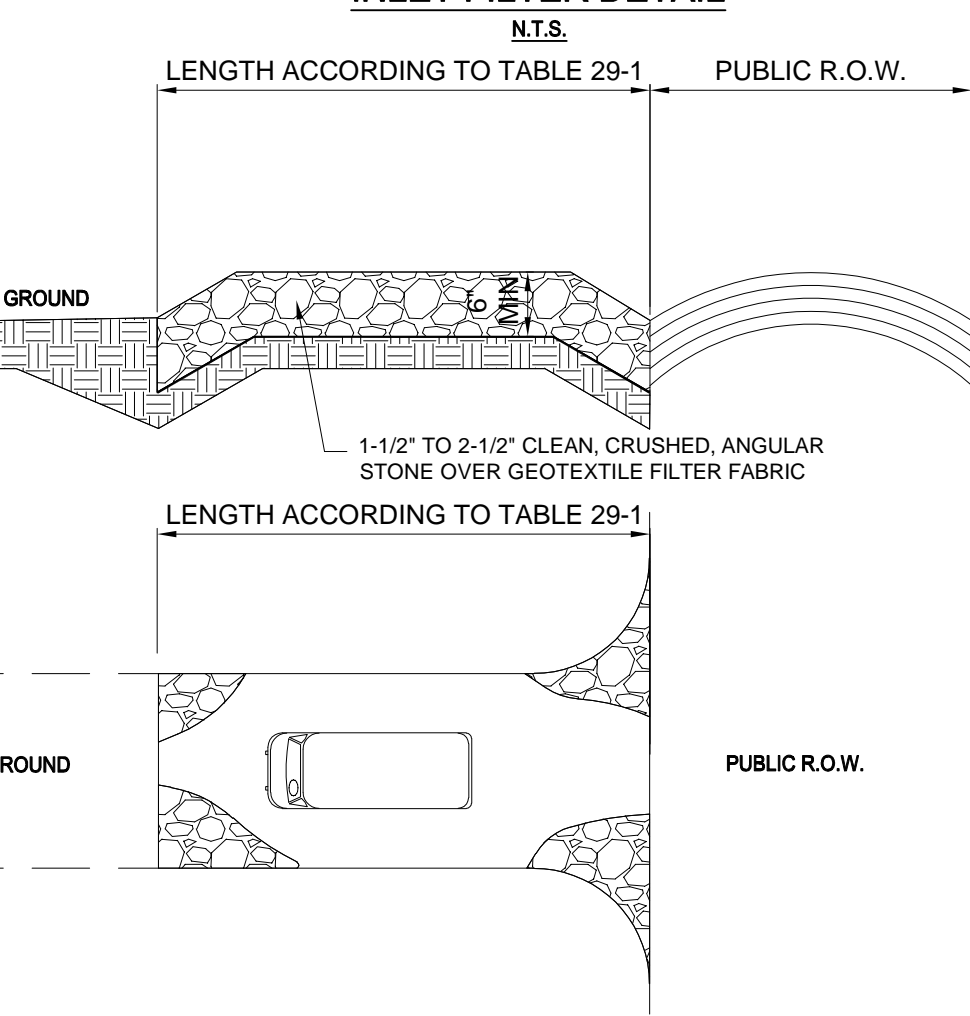
- THE MERCER COUNTY SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED 48 HOURS PRIOR TO STARTING LAND DISTURBANCE ACTIVITY. NOTICE MAY BE MAILED, FAXED OR EMAILED TO: MCD, 590 HUGHES DRIVE, HAMILTON SQUARE, NJ 08690. PHONE: 609-586-9603 FAX: 609-586-1111 EMAIL: PAULSMERCER@MCD.COM
- IF APPLICABLE TO THIS PROJECT, THE OWNER SHOULD BE AWARE OF HIS OR HER OBLIGATION TO FILE FOR A NJPDES CONSTRUCTION ACTIVITY STORMWATER SD3 PERMIT (NJ06000023) VIA THE NJDEP ONLINE PERMITTING SYSTEM (WWW.NJDEP.PERMITS.NJ.GOV) AND TO MAINTAIN THE ASSOCIATED BEST MANAGEMENT PRACTICES AND STORMWATER POLLUTION PREVENTION PLAN SELF-INSPECTION LOGBOOK ONLINE AT ALL TIMES. THIS PERMIT MUST BE FILED PRIOR TO THE START OF SOIL DISTURBANCE. THE ONLINE APPLICATION PROCESS WILL REQUIRE ENTRY OF AN SCD CERTIFICATION CODE, WHICH IS PROVIDED BY THE SOIL CONSERVATION DISTRICT UPON CERTIFICATION OF THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
- THE MERCER COUNTY SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED OF ANY CHANGES IN OWNERSHIP.
- ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN, INCLUDING AN INCREASE IN THE LIMIT OF DISTURBANCE, WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION & SEDIMENT CONTROL STANDARDS.
- A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON SITE AT ALL TIMES.
- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE AS OUTLINED WITHIN THE SEQUENCE OF CONSTRUCTION ON THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL. IN IF LANGUAGE CONTAINED WITHIN ANY OTHER PERMIT FOR THIS PROJECT IS MORE RESTRICTIVE THAN (BUT NOT CONTRADICTORY TO) WHAT IS CONTAINED WITHIN THESE NOTES OR ON THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN, THEN THE MORE RESTRICTIVE PERMIT REQUIREMENTS SHALL BE FOLLOWED.
- THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A 1'x12" TO 2'x24" CLEAN STONE TRACKING PAD AT ALL CONSTRUCTION ENTRANCES IMMEDIATELY AFTER INITIAL SITE DISTURBANCE, WHETHER IDENTIFIED ON THE CERTIFIED PLAN OR NOT. THE WIDTH SHALL SPAN THE FULL WIDTH OF EGRESS, AND LENGTH SHALL BE 50 FT. OR MORE, DEPENDING ON SITE CONDITIONS AND AS REQUIRED BY THE STANDARD. THIS SHALL INCLUDE INDIVIDUAL LOT ACCESS POINTS AND DRIVEWAYS. IF THE EGRESS IS TO A LOCAL ROAD, THEN A 20 FT. LONG PAVED TRANSITION SHALL BE PROVIDED BETWEEN THE EDGE OF PAVEMENT AND THE STONE ACCESS PAD.
- A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN 15 DAYS OF PRELIMINARY GRADING, PROVIDED THAT ALL OTHER REQUIREMENTS RELATED TO DETENTION BASINS, SWALES AND THE SEQUENCE OF CONSTRUCTION HAVE BEEN MET.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 14 DAYS AND NOT SUBJECT TO CONSTRUCTION ACTIVITY WILL IMMEDIATELY RECEIVE TEMPORARY STABILIZATION. IF THE SEASON PREVENTS ESTABLISHMENT OF A TEMPORARY VEGETATIVE COVER, OR IF THE AREA IS NOT TOPSOILED, THEN THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS. SLOPE AREAS IN EXCESS OF 3% WILL BE PROVIDED WITH EROSION CONTROL BLANKETS. CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES, ROADWAY EMBANKMENTS, ENVIRONMENTALLY SENSITIVE AREAS) WILL RECEIVE TEMPORARY STABILIZATION IMMEDIATELY AFTER AN INITIAL DISTURBANCE OR ROUGH GRADING.
- ANY STEEP SLOPES (I.E. SLOPES GREATER THAN 3:1) RECEIVING PIPELINE OR UTILITY INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS.
- PERMANENT VEGETATION SHALL BE SEEDING OR SOODED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. ALL AGRONOMIC REQUIREMENTS CONTAINED WITHIN THE STANDARD AND ON THE CERTIFIED PLAN SHALL BE EMPLOYED. MULCH WITH A BINDER, IN ACCORDANCE WITH THE STANDARD, SHALL BE USED ON ALL SEEDING AREAS. SAVE ALL TAGS AND/OR BAGS USED FOR SEED, LIME, AND FERTILIZER, AND PROVIDE THEM TO THE DISTRICT INSPECTOR TO VERIFY THAT MOTURES AND RATES MEET THE STANDARDS.
- AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, THEN NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
- DURING THE COURSE OF CONSTRUCTION, SOIL COMPACTION MAY OCCUR WITHIN HAIL ROUTES, STAGING AREAS, AND OTHER PROJECT AREAS. IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING, COMPACTED SURFACES SHOULD BE SCARIFIED IF TO 12" IMMEDIATELY PRIOR TO TOPSOIL APPLICATION. THIS WILL HELP ENSURE A GOOD BOND BETWEEN THE TOPSOIL AND SUBSOIL. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC).
- PRIOR TO SEEDING, TOPSOIL SHALL BE WORKED TO PREPARE A PROPER SEEDBED. THIS SHALL INCLUDE RAKING OF THE TOPSOIL AND REMOVAL OF DEBRIS AND STONES, ALONG WITH OTHER REQUIREMENTS OF THE STANDARD FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION.
- IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULPHIDES SHALL BE BARRIED WITH LIMESTONE IN ACCORDANCE WITH THE STANDARD AND OTHER PROJECT AREAS. IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING, COMPACTED SURFACES SHOULD BE SCARIFIED IF TO 12" IMMEDIATELY PRIOR TO TOPSOIL APPLICATION. THIS WILL HELP ENSURE A GOOD BOND BETWEEN THE TOPSOIL AND SUBSOIL. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC).
- MULCHING TO THE STANDARDS IS REQUIRED FOR OBTAINING A CONDITIONAL REPORT OF COMPLIANCE. CONDITIONAL REPORTS ARE ONLY ISSUED WHEN THE SEEDING, PERMANENT STABILIZATION MUST THEN BE COMPLETED DURING THE OPTIMUM SEEDING SEASON IMMEDIATELY FOLLOWING THE CONDITIONAL ROC OR THE COMPLETION OF WORK IN A GIVEN AREA.
- HYDROSEEDING IS A TWO-STEP PROCESS. THE FIRST STEP INCLUDES SEED, FERTILIZER, LIME, ETC., ALONG WITH MINIMAL AMOUNTS OF MULCH TO PROMOTE SOIL CONTACT, AND GIVE A VISUAL INDICATION OF COVERAGE. UPON COMPLETION OF THE SEEDING OPERATION, HYDRO-MULCH SHOULD BE APPLIED AT A MINIMUM RATE OF 1500 LBS. PER ACRE IN THE SECOND STEP. THE USE OF HYDRO-MULCH, AS OPPOSED TO STRAW, IS LIMITED TO OPTIMAL SEEDING DATES AS LISTED IN THE STANDARD. THE USE OF HYDROMULCH ON SLOPED AREAS IS DISCOURAGED.
- THE CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL ADJACENT ROADS CLEAN DURING THE LIFE OF THE CONSTRUCTION PROJECT. ALL SEDIMENT WASHED, DROPPED, TRACKED OR SPILLED ONTO PAVED SURFACES SHALL BE IMMEDIATELY REMOVED.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR REMEDIATING ANY EROSION OR SEDIMENT PROBLEMS THAT ARISE AS A RESULT OF ONGOING CONSTRUCTION, AND FOR EMPLOYING ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES AT THE REQUEST OF THE MERCER COUNTY SOIL CONSERVATION DISTRICT.
- CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
- THE RIDING SURFACE OF ALL UTILITY TRENCHES WITH PAVED AREAS SHALL BE 3/4" CLEAN STONE OR BASE PAVEMENT UNTIL SUCH TIME AS FINAL PAVEMENT HAS BEEN INSTALLED. TEMPORARY SOIL RIDING SURFACES ARE PROHIBITED.
- ALL CONSTRUCTION DEWATERING (TRENCHES, EXCAVATIONS, ETC.) MUST BE DONE THROUGH AN INLET OR OUTLET FILTER IN ACCORDANCE WITH THE STANDARD FOR DEWATERING OR AS DESCRIBED ON THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN. DISCHARGE LOCATIONS FOR THE DEWATERING OPERATION MUST CONTAIN PERENNIAL VEGETATION OR A SIMILAR STABLE SURFACE.
- ALL SWALES OR CHANNELS THAT WILL RECEIVE RUNOFF FROM PAVED SURFACES MUST BE PERMANENTLY STABILIZED PRIOR TO THE INSTALLATION OF PAVEMENT. IF THE SEASON PROHIBITS THE ESTABLISHMENT OF PERMANENT STABILIZATION, THE SWALES OR CHANNELS MAY BE TEMPORARILY STABILIZED IN ACCORDANCE WITH THE STANDARDS.
- NBSA 424-98 ET SEQ. REQUIRES THAT NO CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY BE ISSUED BY THE MUNICIPALITY BEFORE THE PROVISIONS OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN HAVE BEEN SATISFIED. THEREFORE, ALL SITE WORK FOR STERILS AND ALL WORK AMONG INDIVIDUAL LOTS IN SUBDIVISIONS MUST BE COMPLETED BEFORE THE DISTRICT ISSUES A REPORT OF COMPLIANCE OR CONDITIONAL REPORT OF COMPLIANCE, WHICH MUST BE FORWARDED TO THE MUNICIPALITY PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY, RESPECTIVELY. MERCER COUNTY SOIL CONSERVATION DISTRICT 580 HUGHES DRIVE HAMILTON SQUARE, N.J. 08690

**TEMPORARY STOCKPILE DETAIL**



- NOTES:**
- 3/4" CLEAN STONE CORE SHALL BE COMPLETELY CONTAINED WITHIN GEOTEXTILE FABRIC. ALL SEAMS SHALL BE SEWN OR CLOSED BY SUITABLE MECHANICAL MEANS TO PREVENT LEAKAGE OF STONE.
  - WOOD OR METAL ANCHOR STAKES SHALL BE INSTALLED AS REQUIRED BY FIELD CONDITIONS TO PREVENT MOVEMENT OF BARRIER.
  - INLET GRATE OPENING IS TO BE KEPT CLEAR OF OBSTRUCTIONS AT ALL TIMES.
  - OTHER METHODS THAT ACCOMPLISH THE PURPOSE OF THE SEWER INLET PROTECTION MAY BE USED IF APPROVED BY THE LOCAL SOIL CONSERVATION DISTRICT.
  - INSPECTIONS SHALL BE FREQUENT. MAINTENANCE, REPAIR, AND REPLACEMENT SHALL BE MADE PROMPTLY, AS NEEDED. THE BARRIER SHALL BE REMOVED WHEN THE AREA DRAINING TOWARDS THE INLET HAS BEEN STABILIZED.

**INLET FILTER DETAIL**

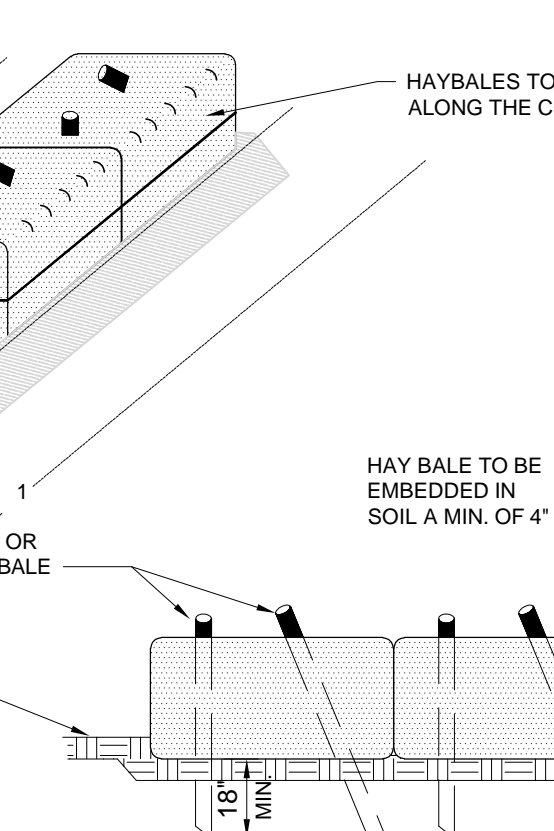


- NOTE:**
- INDIVIDUAL LOT ACCESS POINTS MAY REQUIRE STABILIZATION. THICKNESS SHOWN IS FOR STONE CONSTRUCTION ENTRANCE ONLY. (TYP)

PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0 TO 2%	50 FT	100 FT
2 TO 5%	100 FT	200 FT
> 5%	ENTIRE SURFACE STABILIZED WITH FABC BASE COURSE	

**LEGEND**

- SOIL COMPACTION TESTING AREAS
  - RECOMMENDED SOIL COMPACTION TEST LOCATION (APPROX. 1 PER 1/5 ACRE)
- 0.05 ACRES OF SOIL COMPACTION TESTING AREA / 0.5 AC = 2 TEST LOCATIONS (MINIMUM OF 2 LOCATIONS)



- NOTES:**
- HAYBALES SHALL BE SECURELY ANCHORED IN PLACE ALONG THE CONTOUR BY 2 STAKES (2"x2") OR REBAR. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD PREVIOUSLY LAID BALES TO FORCE THEM TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE TOP OF THE HAYBALE.
  - HAYBALES SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 4 INCHES.
  - HAYBALES SHALL BE PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
  - HAYBALES SHALL BE INSTALLED SO WATER CANNOT BYPASS THE BARRIER AROUND THE ENDS.
  - INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
  - THE BARRIER SHALL BE REMOVED WHEN THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
  - STAKES NOT REQUIRED FOR HAYBALES INSTALLED ON ASPHALT. INSTEAD, A DOUBLE ROW OF HAYBALES SHALL BE PROVIDED.

**HAYBALE SEDIMENT BARRIER DETAIL**

**SOIL COMPACTION TESTING REQUIREMENTS**

- SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL (SEE PERMANENT SEEDING AND STABILIZATION NOTES FOR TOPSOIL REQUIREMENTS) SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
- AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE CERTIFIED SOIL EROSION CONTROL PLAN.
- COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. A COPY OF THE PLAN OR PORTION OF THE PLAN SHALL BE USED TO MARK LOCATIONS OF TESTS, AND ATTACHED TO THE COMPACTION REMEDIATION FORM, AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
- IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE SIMPLIFIED TESTING METHODS (SEE DETAILS BELOW), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN (EXCLUDING EXEMPT AREAS), OR (2) PERFORM ADDITIONAL, MORE DETAILED TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL.

**COMPACTION TESTING METHODS**

- PROBING WIRE TEST (SEE DETAIL)
- HAND-HELD PENETROMETER TEST (SEE DETAIL)
- TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
- NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)

**NOTE:** ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.

SOIL COMPACTION TESTING IS NOT REQUIRED IF WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) OR SIMILAR) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION.

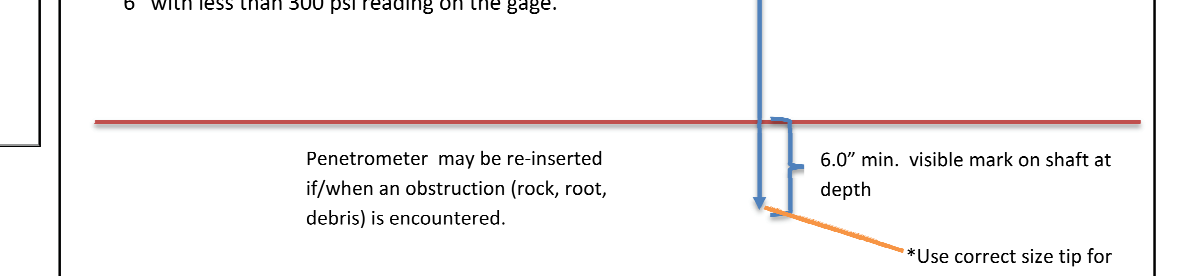
**PROCEDURES FOR SOIL COMPACTION MITIGATION**

PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.

RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.), IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAY BE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.

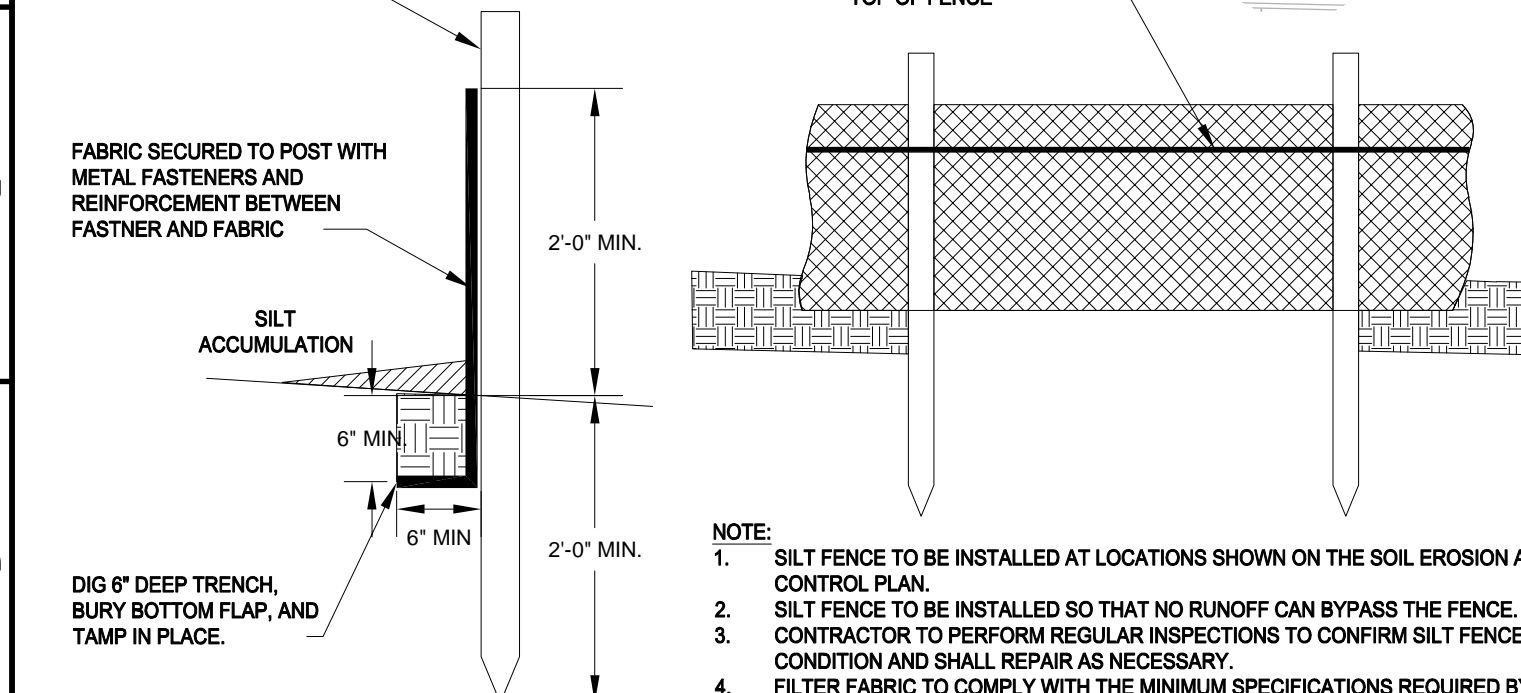
**Handheld Soil Penetrometer Test**

Note: soil should be moist but not saturated. Do not test when soil is excessively dry or subject to freezing temperatures. Slow, steady downward pressure used to advance the probe. Probe must penetrate at least 6" with less than 300 psi reading on the gage.



Penetrometer may be re-inserted if/when an obstruction (rock, root, debris) is encountered.

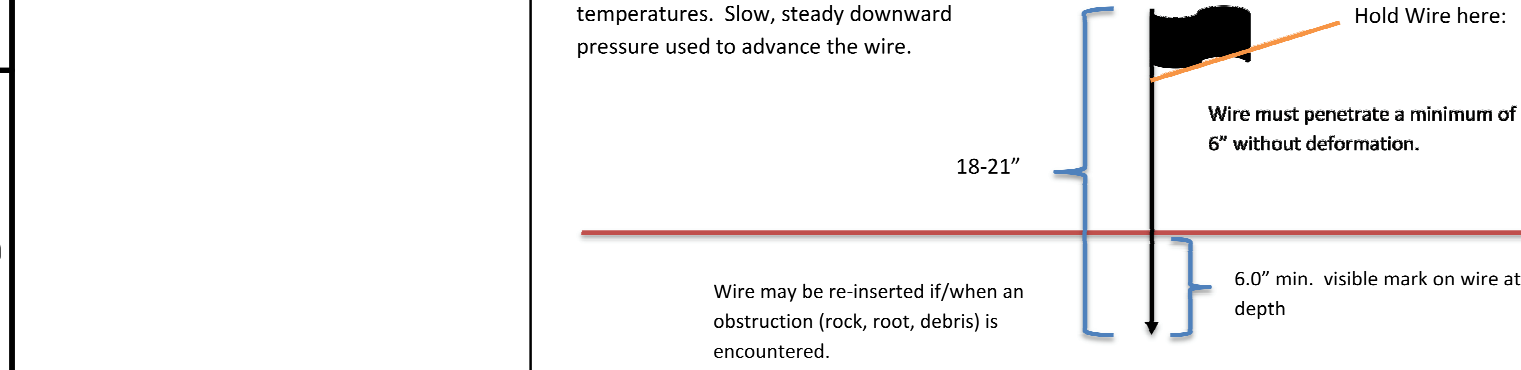
**SILT FENCE DETAIL**



- SILT FENCE TO BE INSTALLED AT LOCATIONS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
- SILT FENCE TO BE INSTALLED SO THAT NO RUNOFF CAN BYPASS THE FENCE.
- CONTRACTOR TO PERFORM REGULAR INSPECTIONS TO CONFIRM SILT FENCE IS IN GOOD CONDITION AND SHALL REPAIR AS NECESSARY.
- FILTER FABRIC TO COMPLY WITH THE MINIMUM SPECIFICATIONS REQUIRED BY THE SOIL CONSERVATION DISTRICT.

**Probing Wire Test- 15.5 ga steel wire (survey flag)**

Note: soil should be moist but not saturated. Do not test when soil is excessively dry or subject to freezing temperatures. Slow, steady downward pressure used to advance the wire.



Wire may be re-inserted if/when an obstruction (rock, root, debris) is encountered.

Hold Wire here: Wire must penetrate a minimum of 6" without deformation.

6.0" min. visible mark on wire at depth

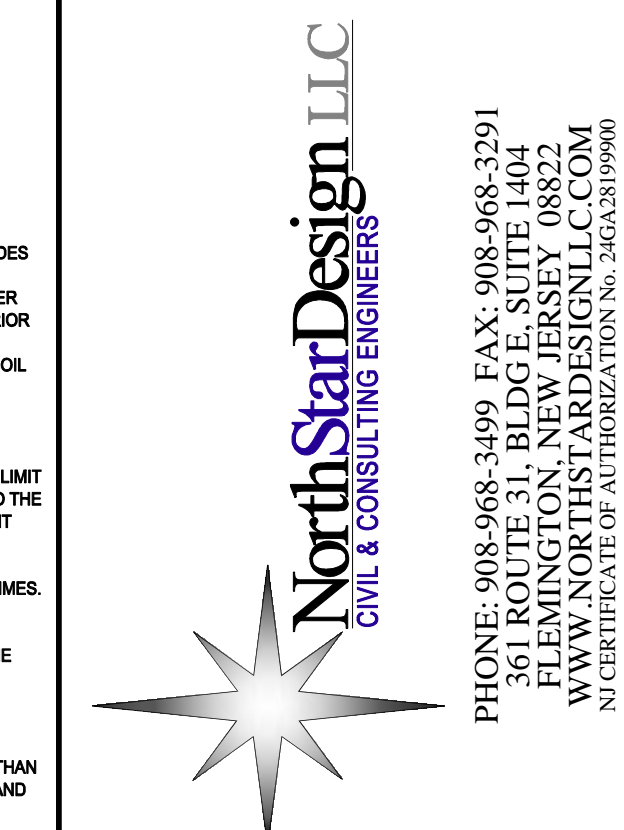
6.0" min. visible mark on shaft at depth

\*Use correct size tip for soil type

20 40 60 80 ( IN FEET ) 1 inch = 20 ft.



THIS PLAN IS FOR SOIL EROSION AND SEDIMENT CONTROL PURPOSES ONLY.



REV.	DATE	REVISION COMMENT
1	11/10/22	REV. PER DRAINAGE CALCS

**PRELIMINARY AND FINAL SITE PLAN**

**AUTOZONE (STORE #3644)**

BLOCK 6.07, LOT 14.02, TAX MAP SHEET #9  
40-50 PRINCETON-HIGHTSTOWN ROAD  
TOWNSHIP OF EAST WINDSOR  
MERCER COUNTY, NEW JERSEY

**T. F. PUGSLEY, Jr.**

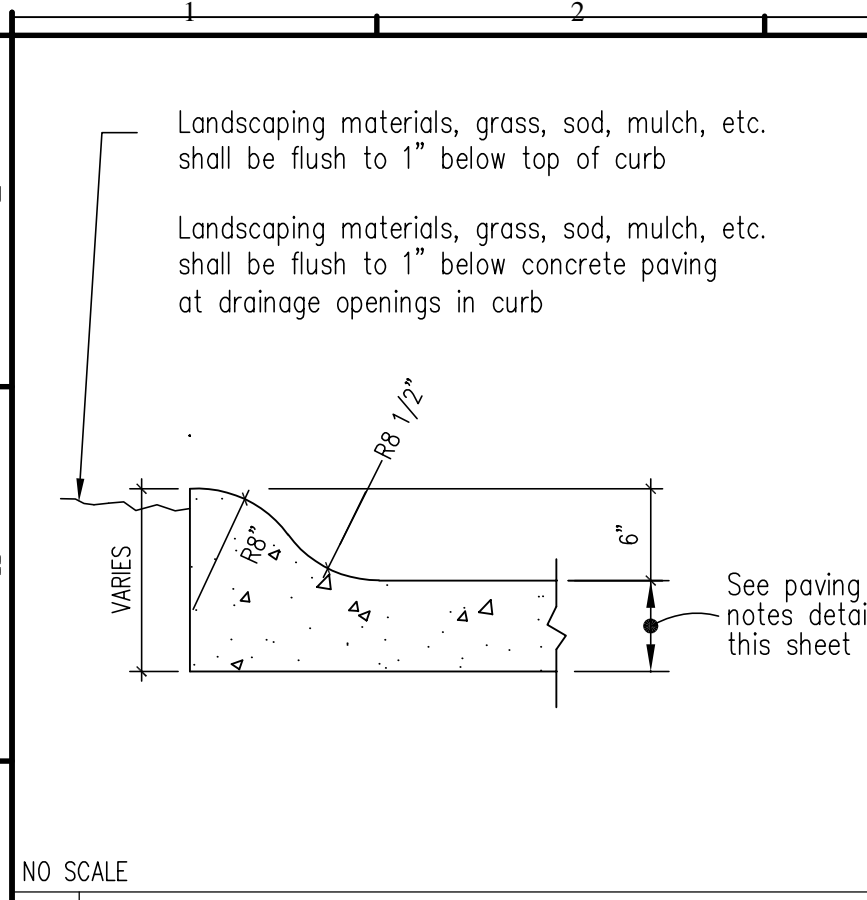
PROFESSIONAL ENGINEER  
NJ LICENSE NO. 43527

**SOIL EROSION AND SEDIMENT CONTROL PLAN**

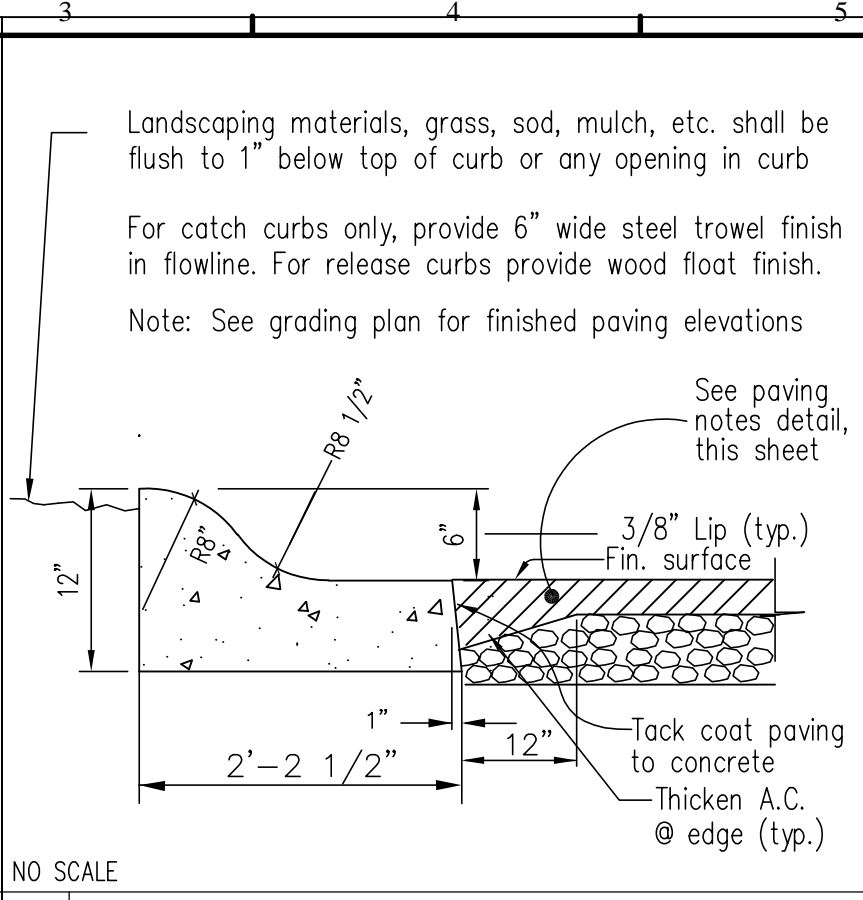
SHEET NO.: **C1.5**

7 OF 13

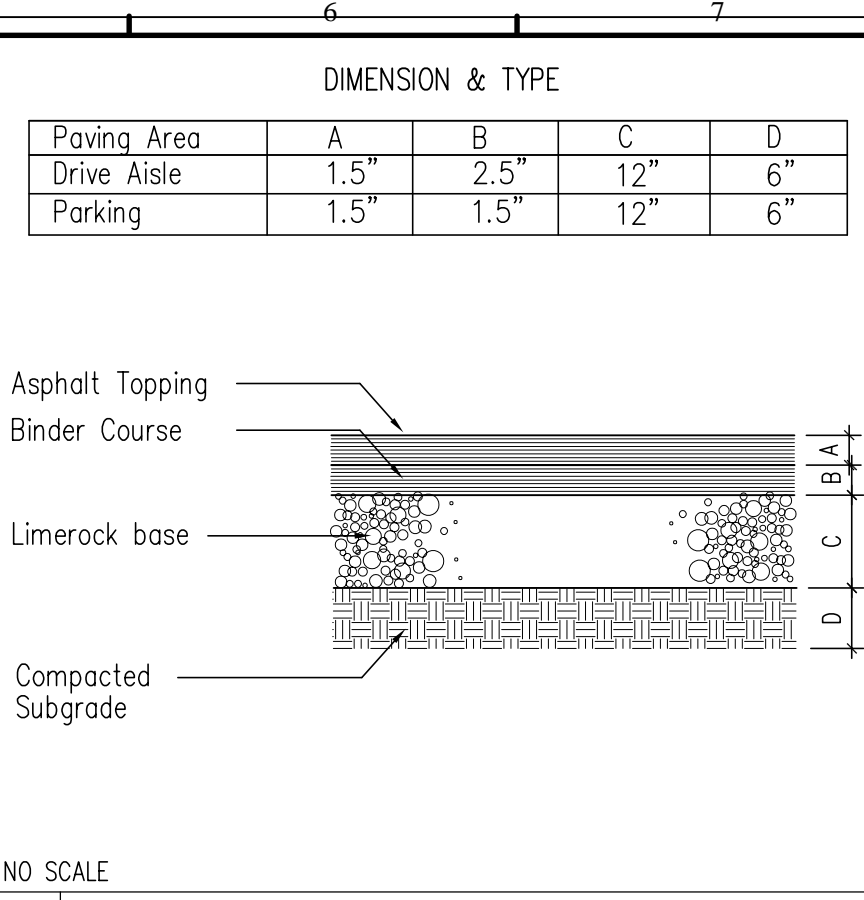
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DESIGNED BY:	NHP
CHECKED BY:	TJP
DRAWING SCALE:	As Shown
PROJECT #:	21-020
CAD FILE:	21-020SS01
ZONING DISTRICT:	H-C ZONE
REVISION 1	11/10/22



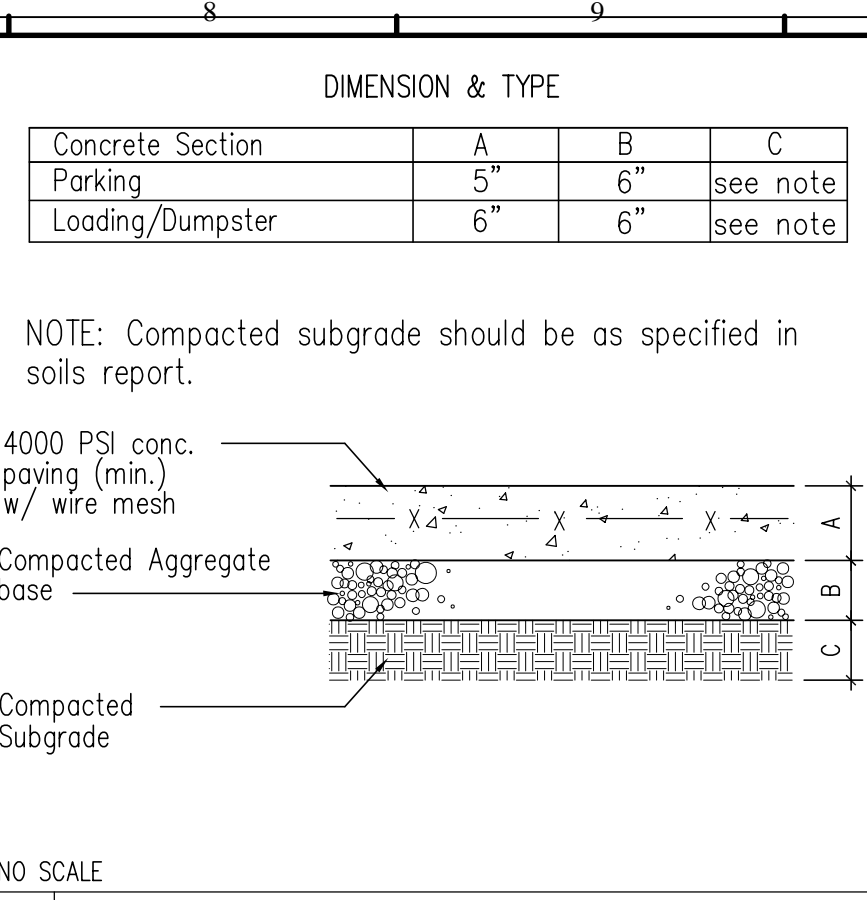
1 TYPICAL ROLL-OVER CURB



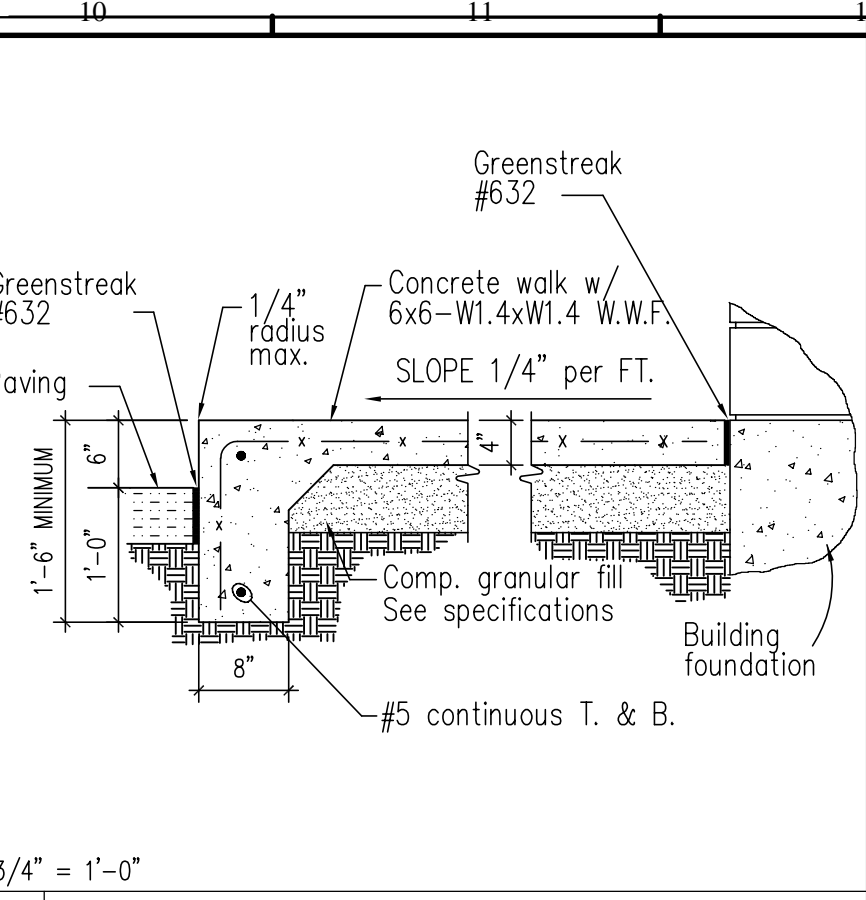
2 ROLL-OVER CURB at ASPHALT PAVING



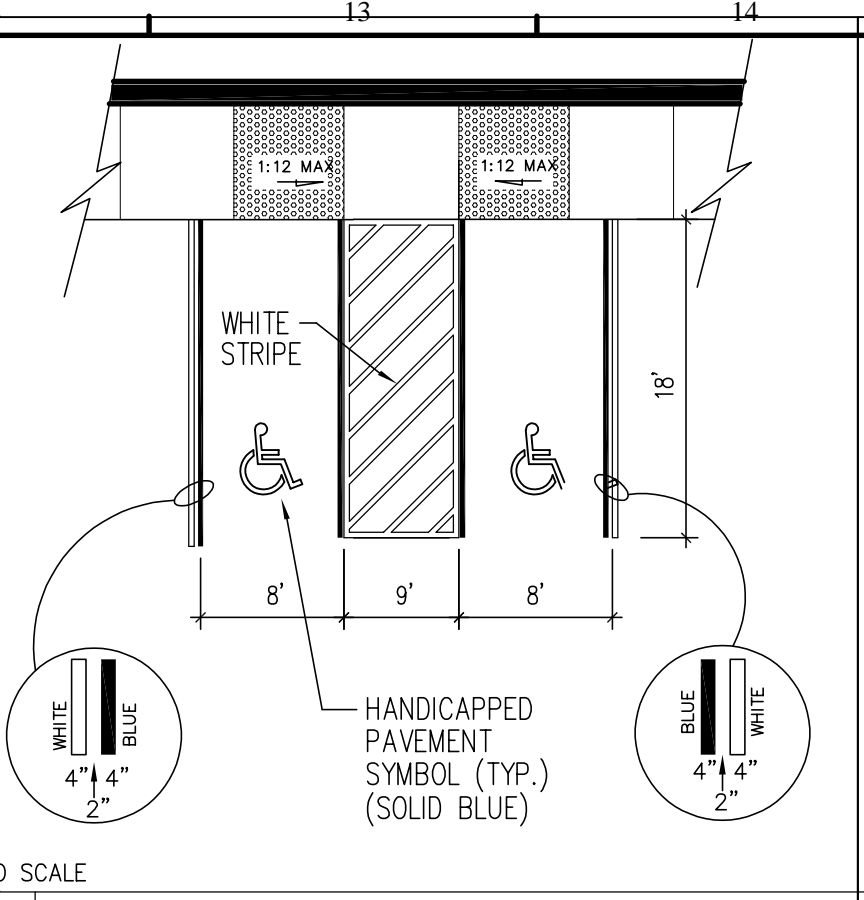
3 ASPHALT PAVING SECTION



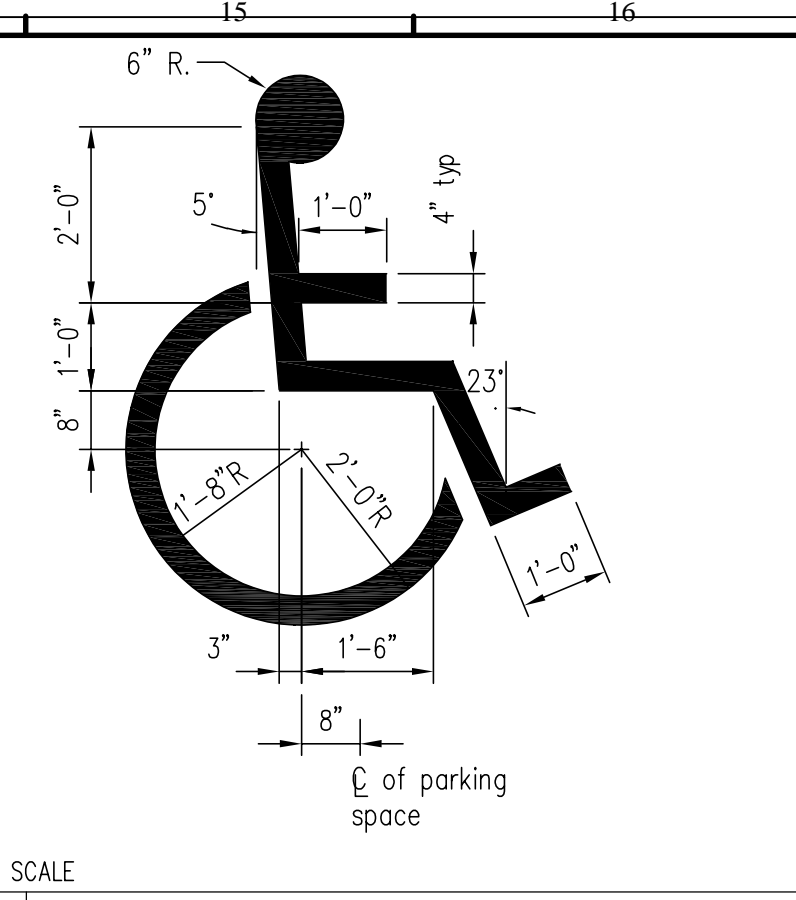
4 CONCRETE PAVING SECTION



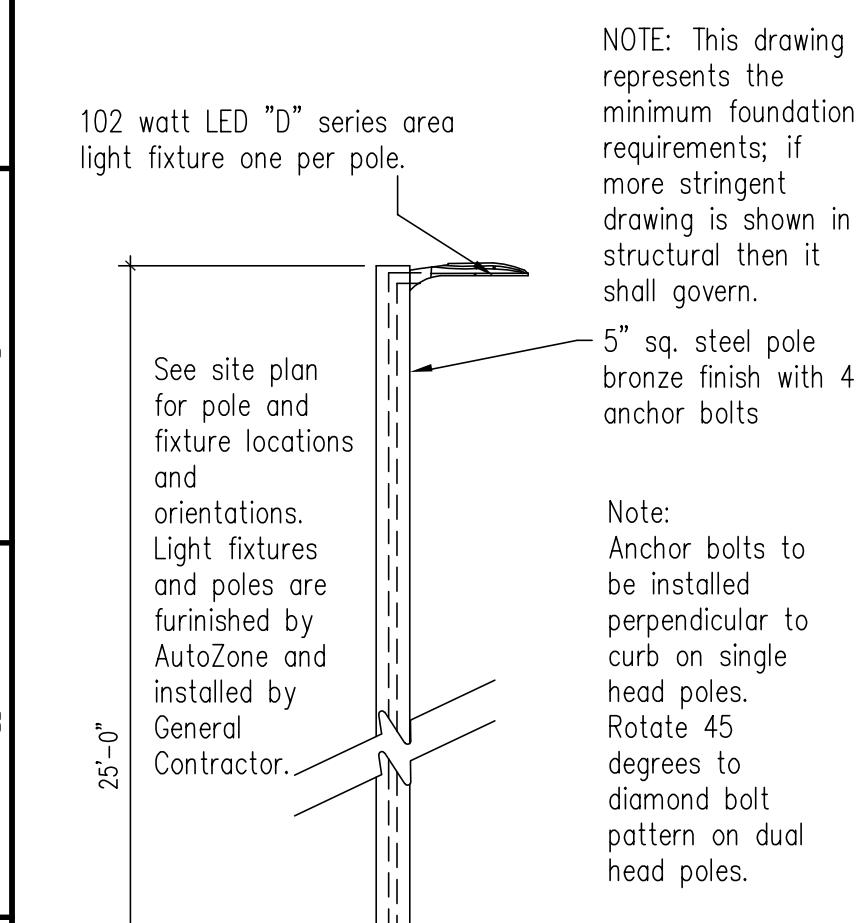
5 TYPICAL WALK SECTION



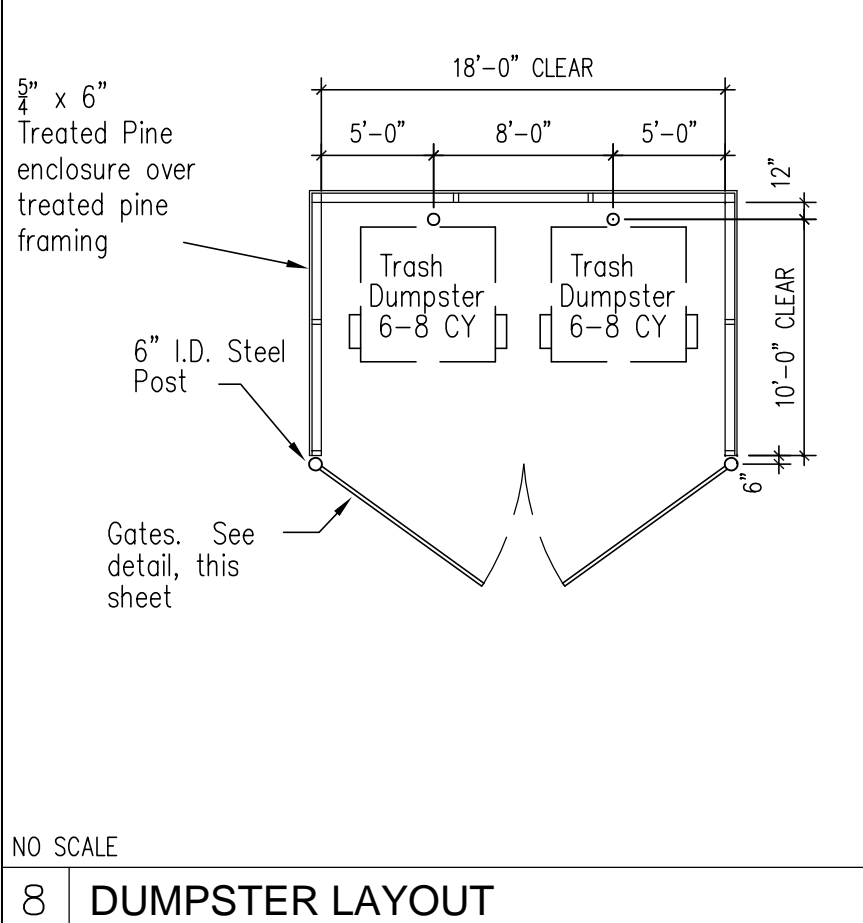
6 HANDICAP PARKING DETAIL



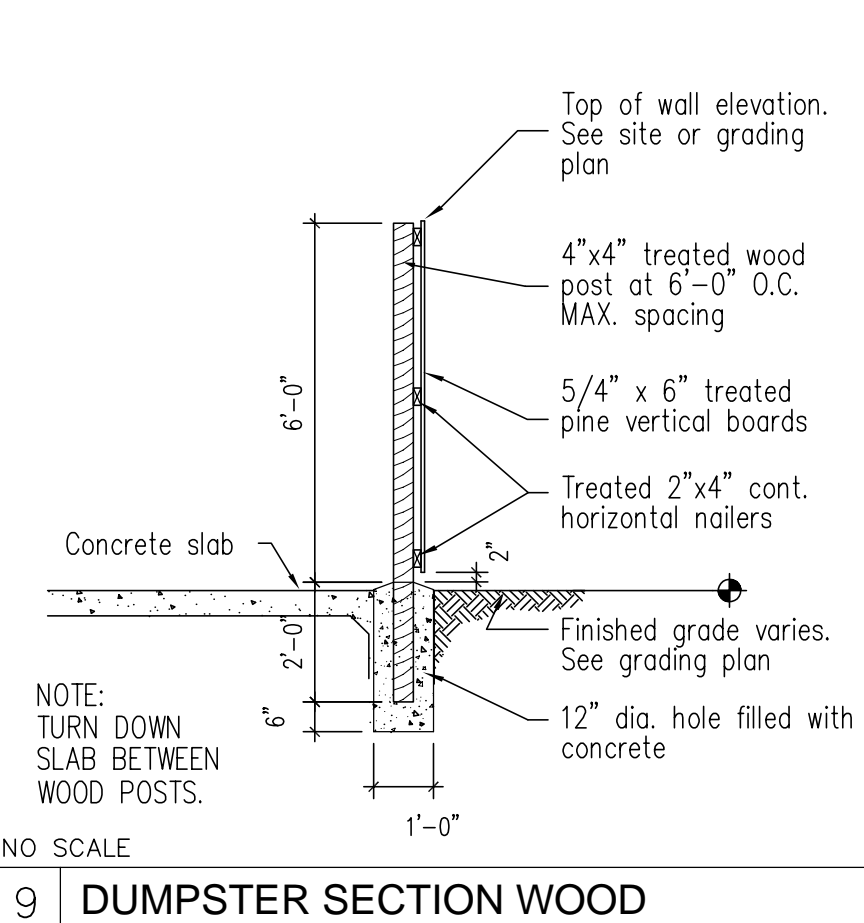
7 INT'L BARRIER FREE SYMBOL



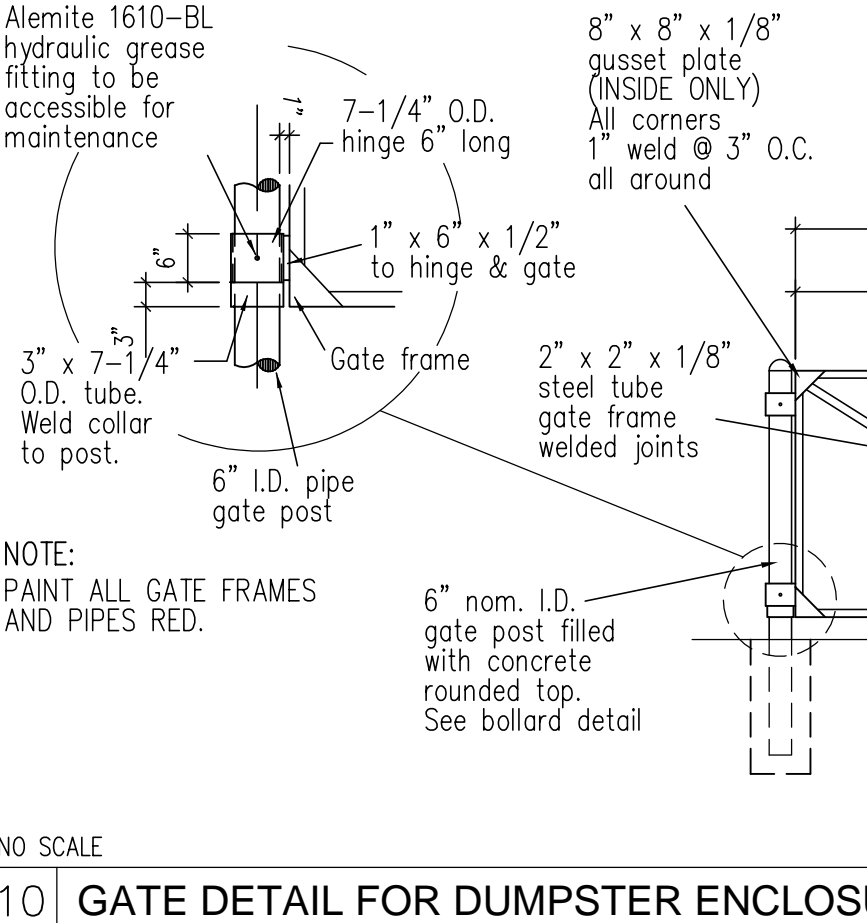
12 25' TYPICAL SINGLE LIGHT POLE



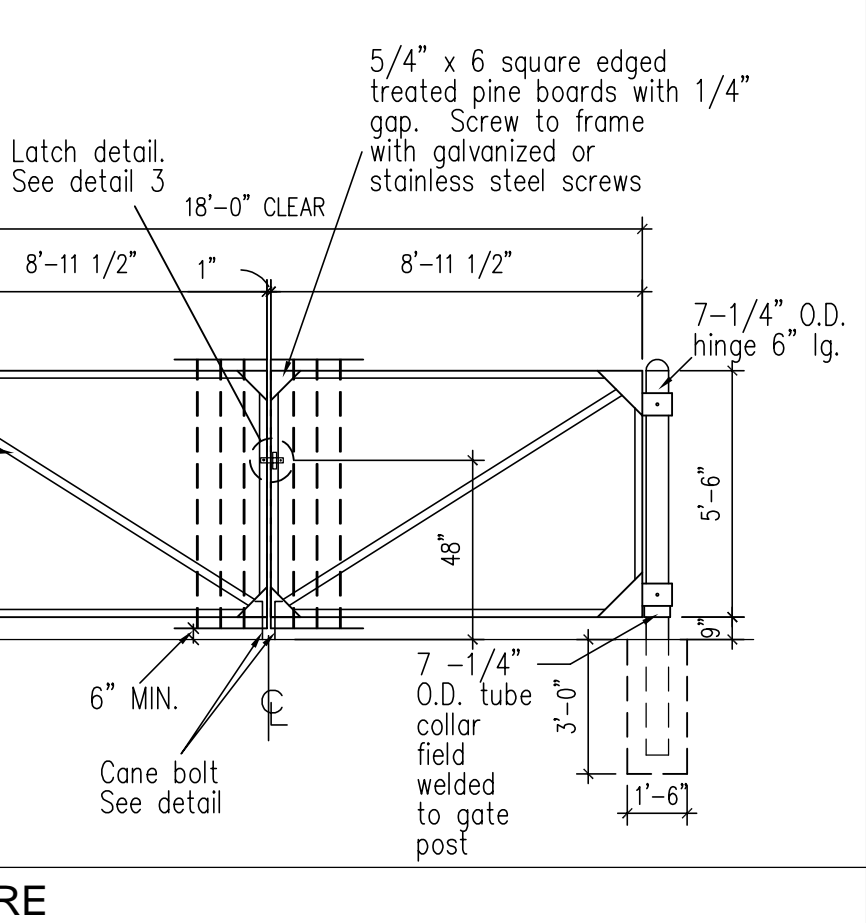
8 DUMPSTER LAYOUT



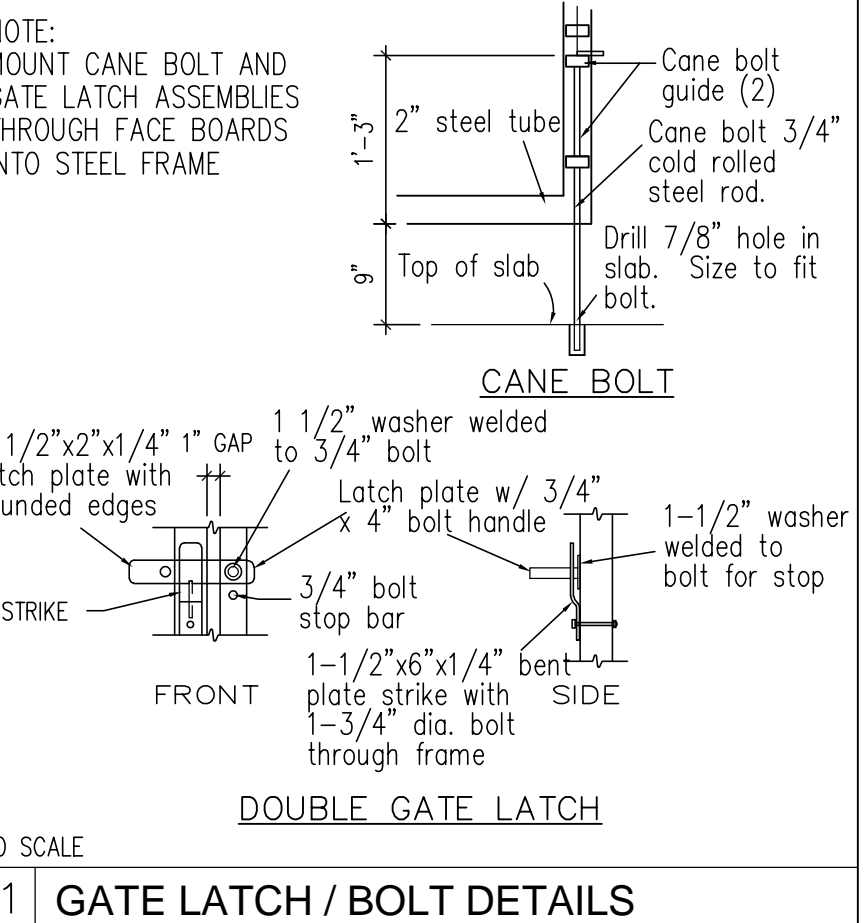
9 DUMPSTER SECTION WOOD



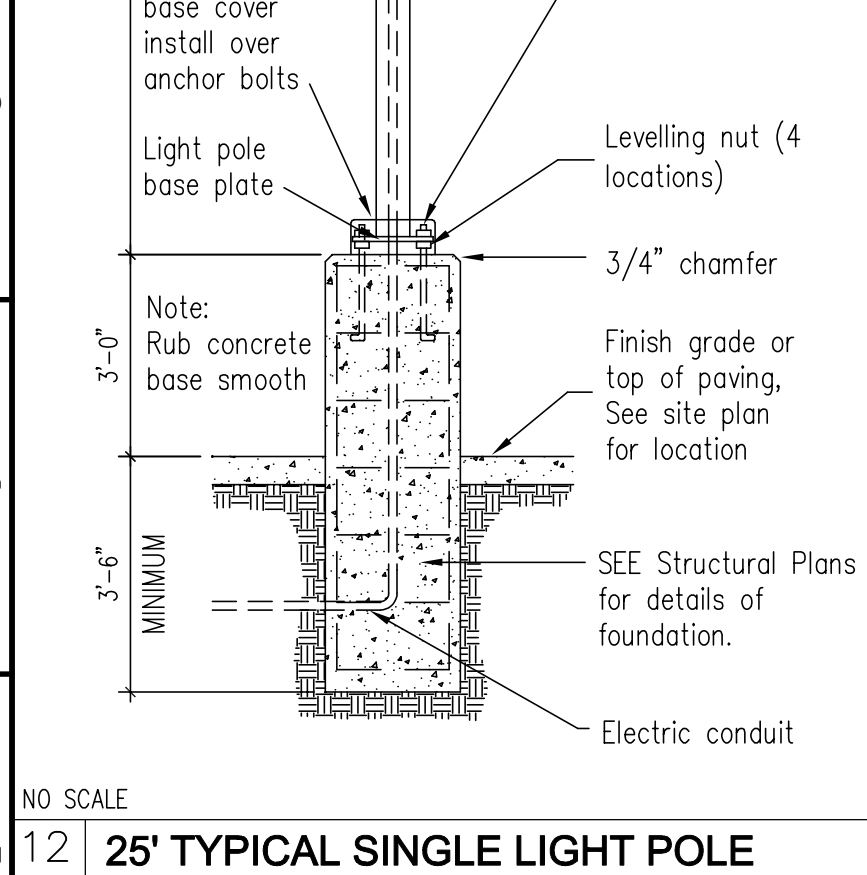
10 GATE DETAIL FOR DUMPSTER ENCLOSURE



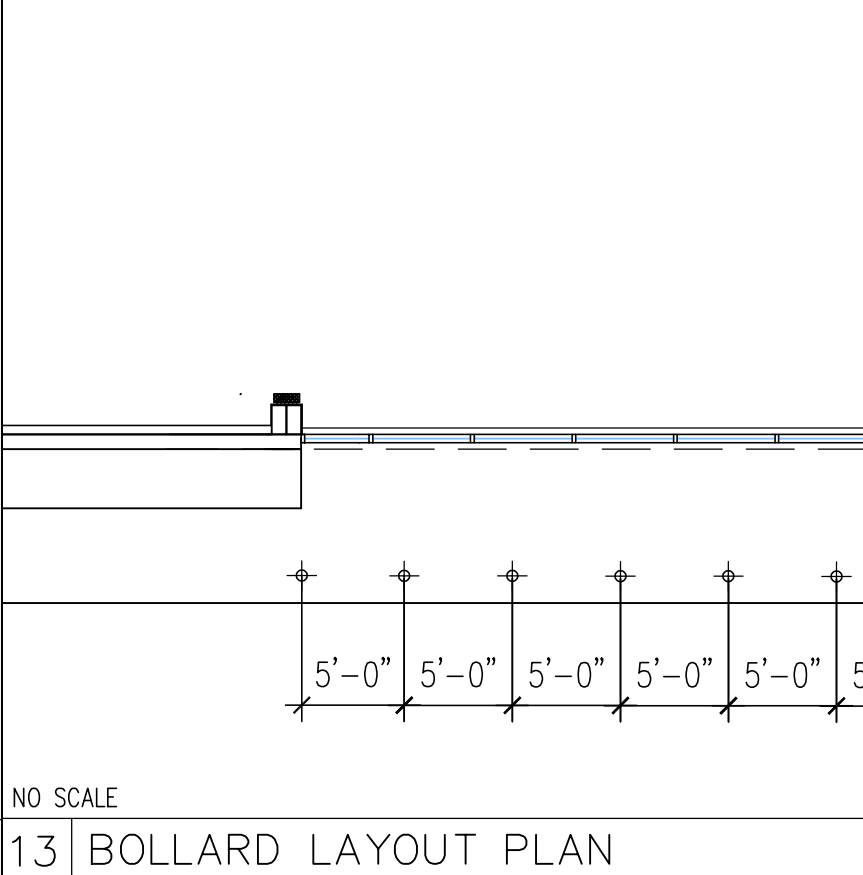
11 GATE LATCH / BOLT DETAILS



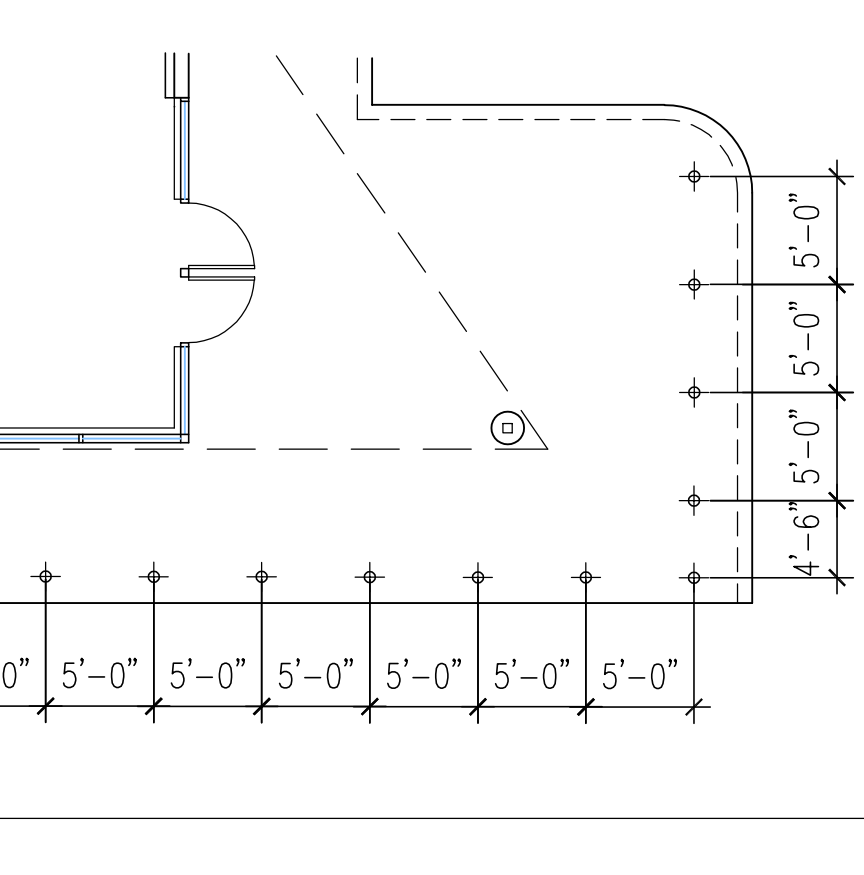
16 WHEEL STOP DETAIL



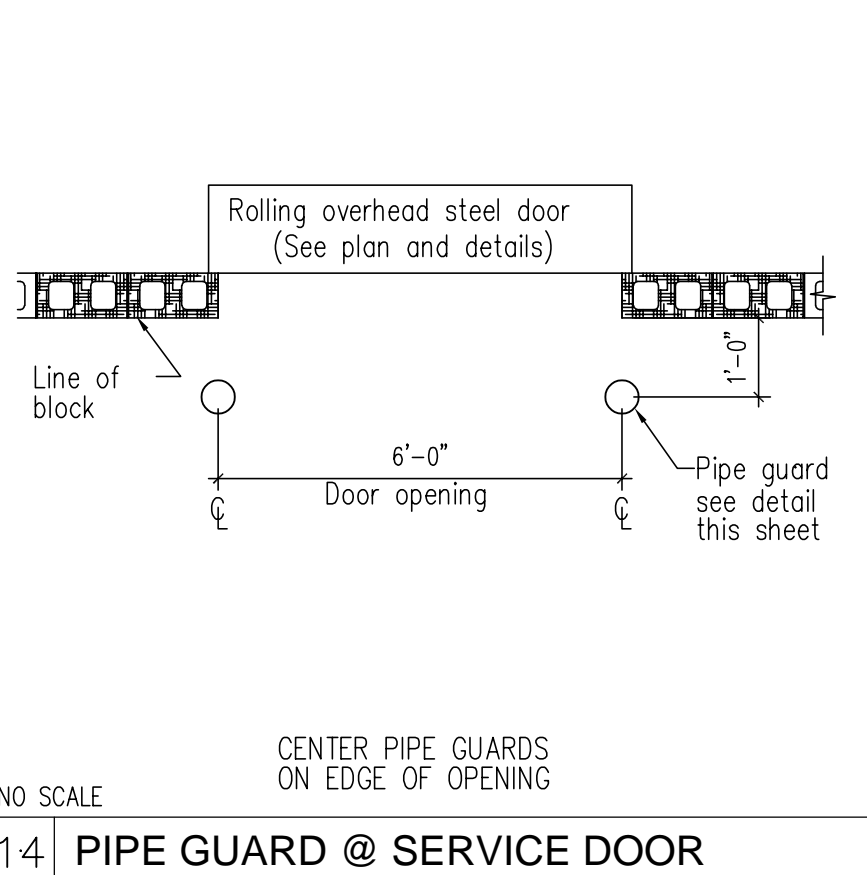
13 BOLLARD LAYOUT PLAN



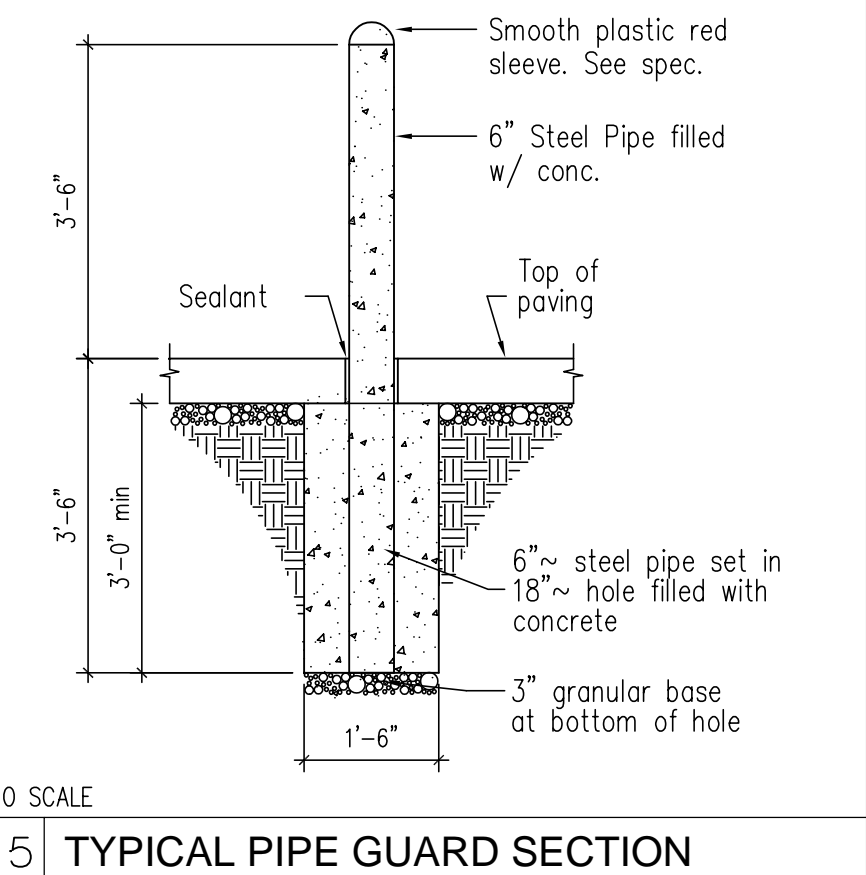
14 PIPE GUARD @ SERVICE DOOR



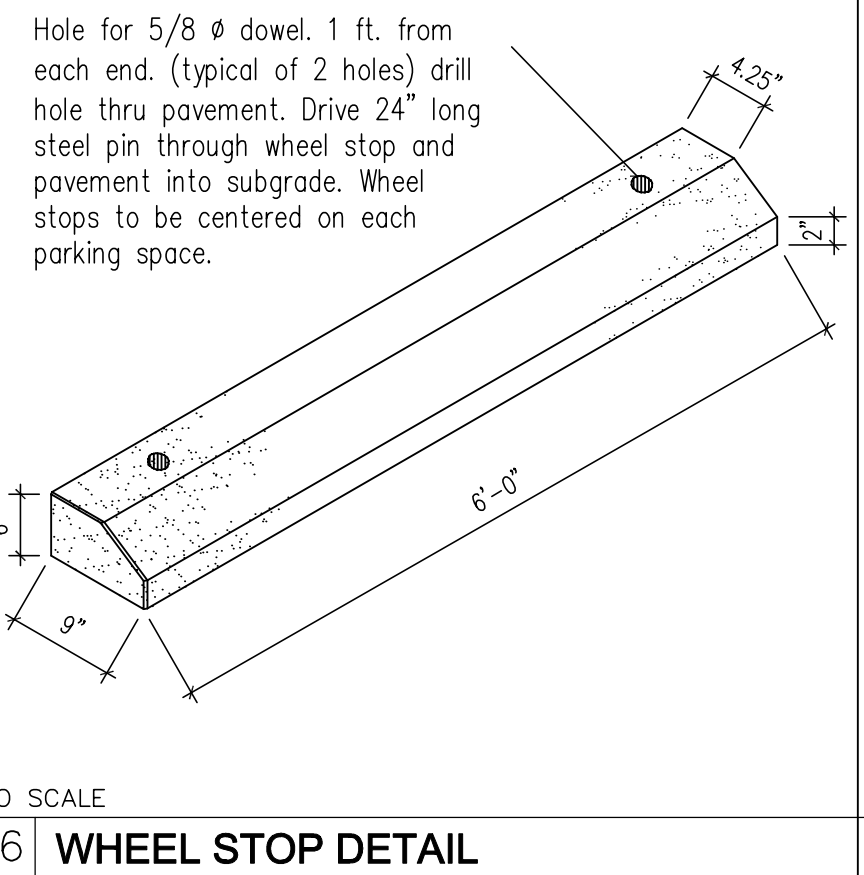
15 TYPICAL PIPE GUARD SECTION



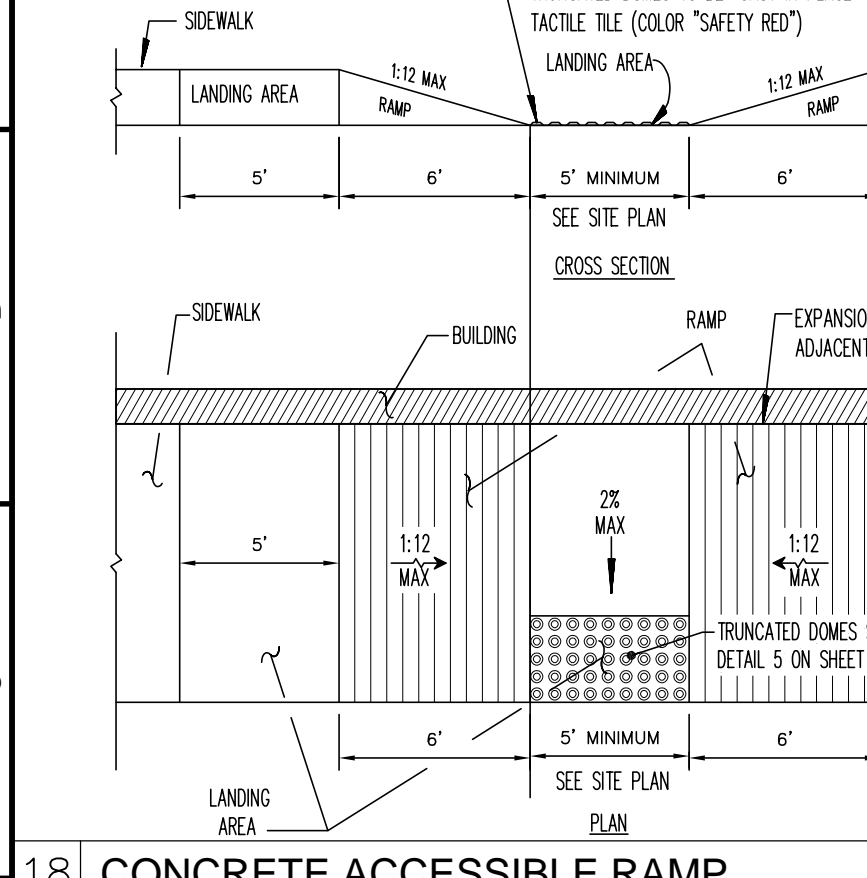
20 CONCRETE VERTICAL CURB



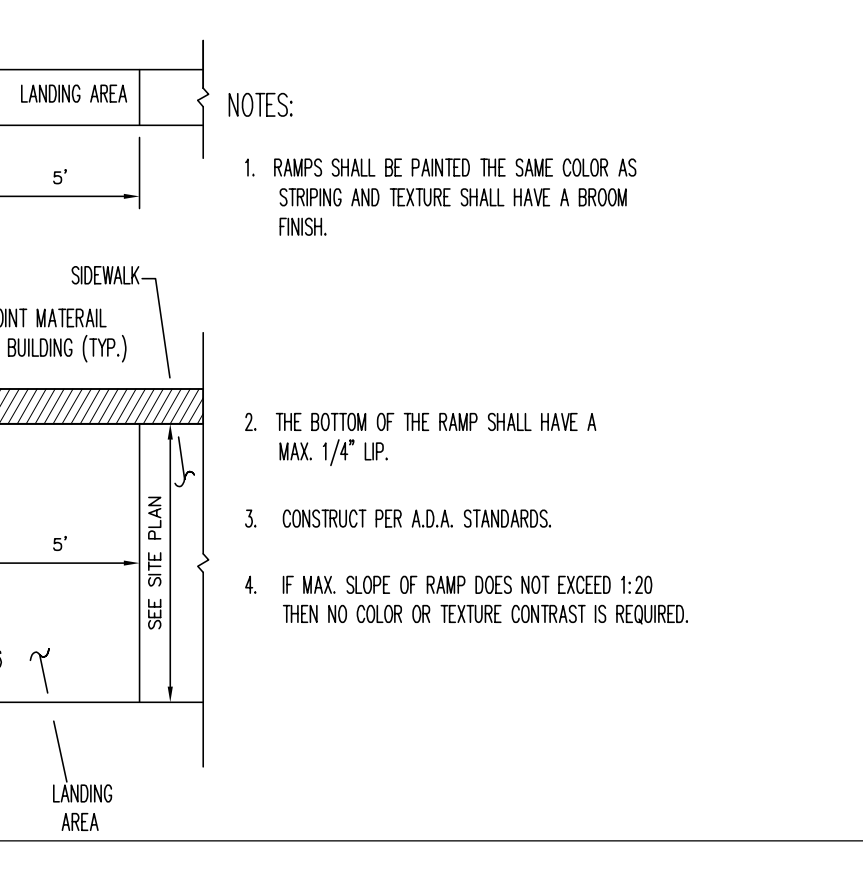
22 TYPICAL EXPANSION JOINT



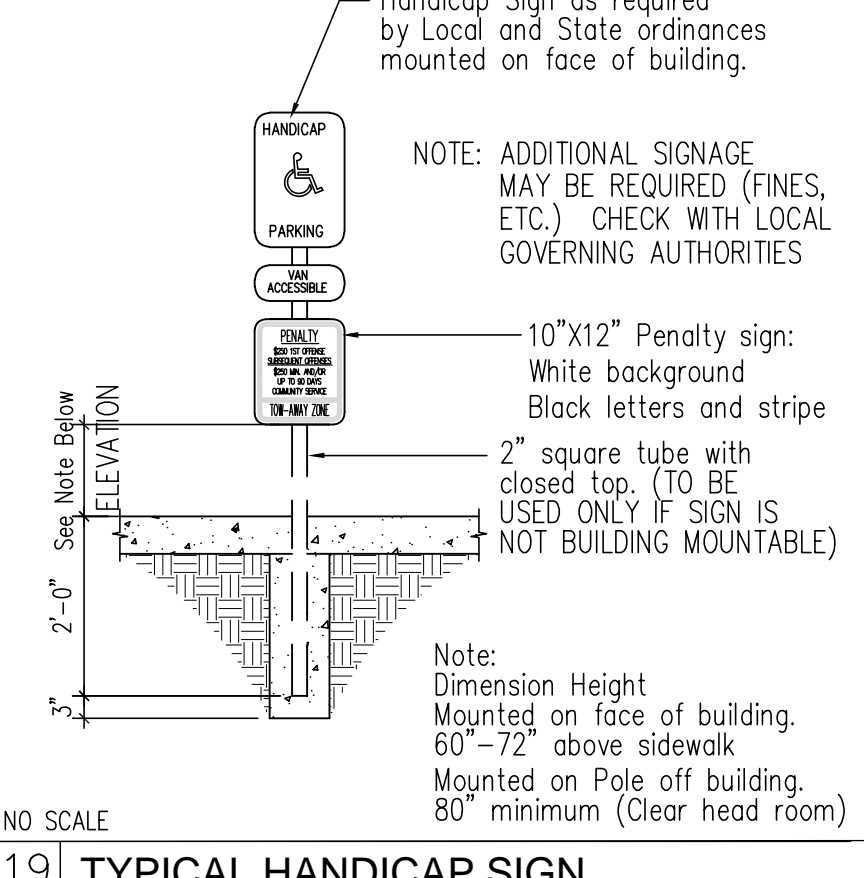
23 TYPICAL CONTROL JOINT



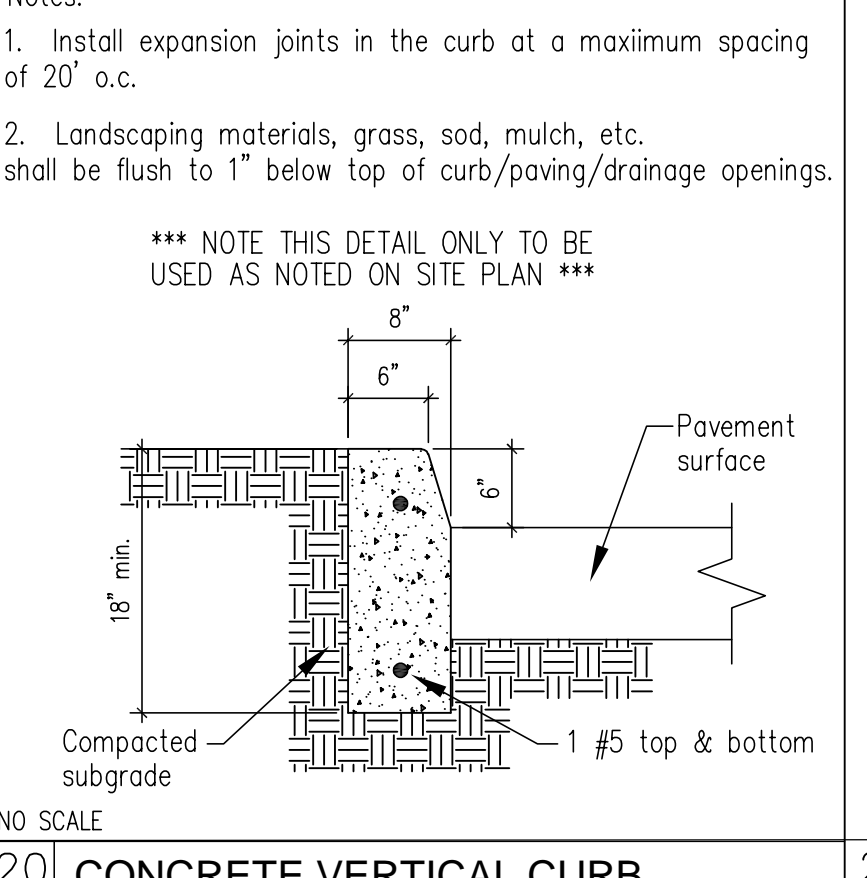
18 CONCRETE ACCESSIBLE RAMP



19 TYPICAL HANDICAP SIGN



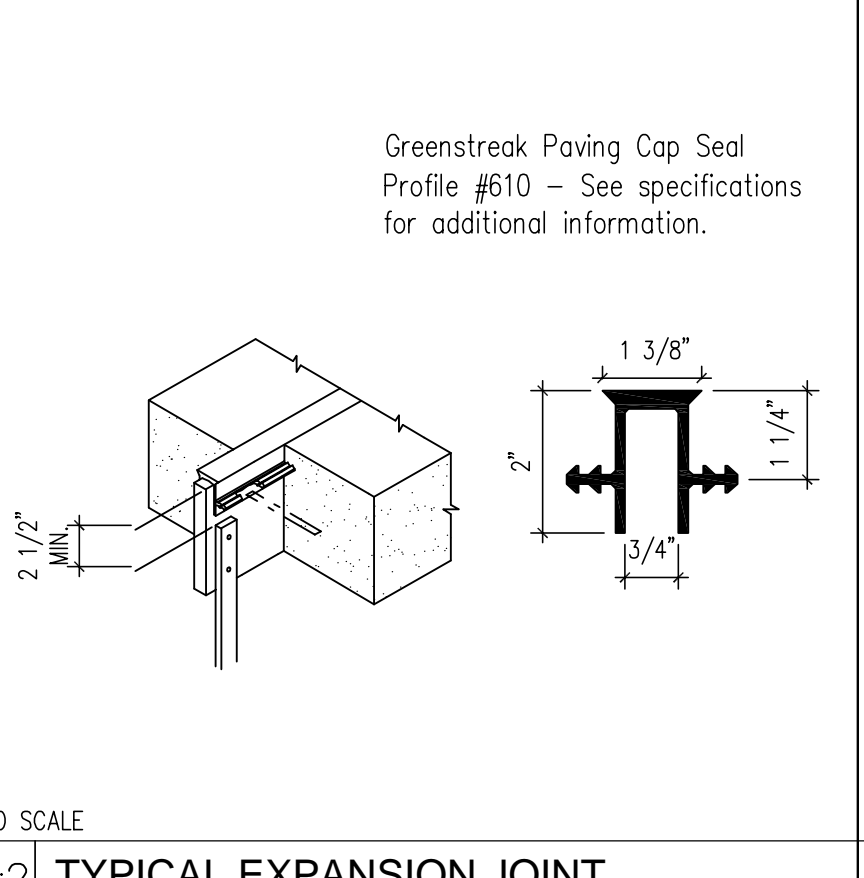
20 CONCRETE VERTICAL CURB



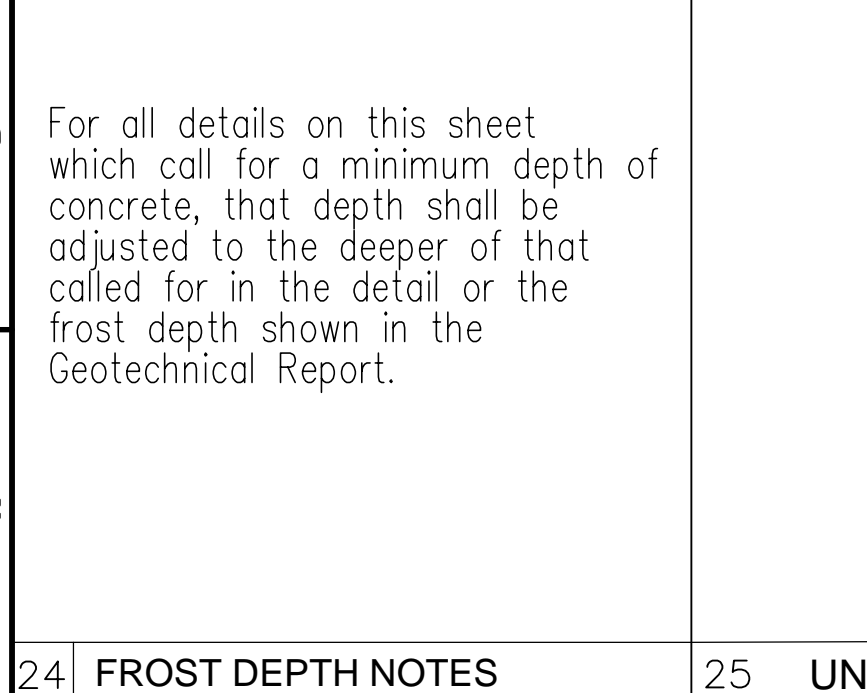
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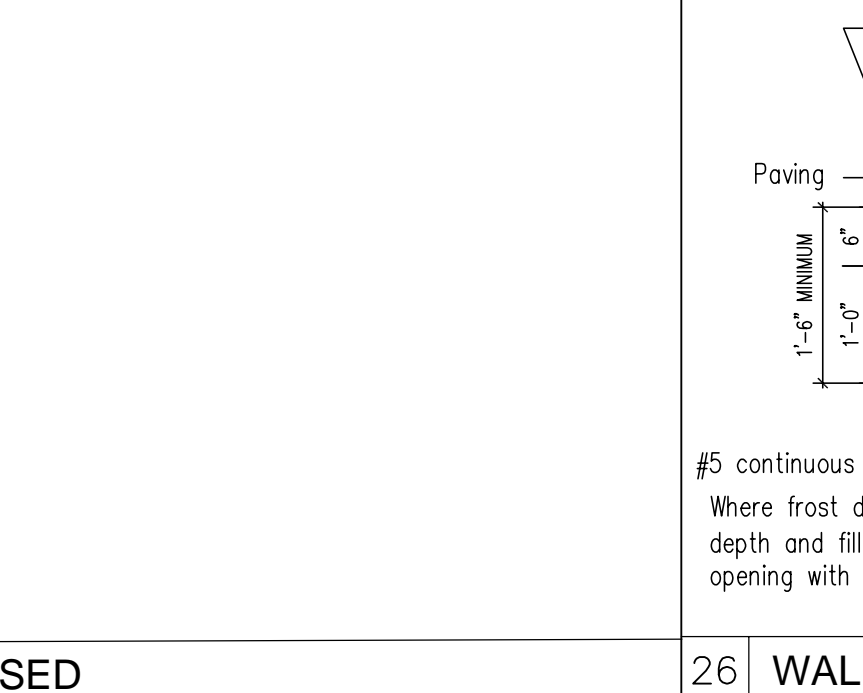
22 TYPICAL EXPANSION JOINT



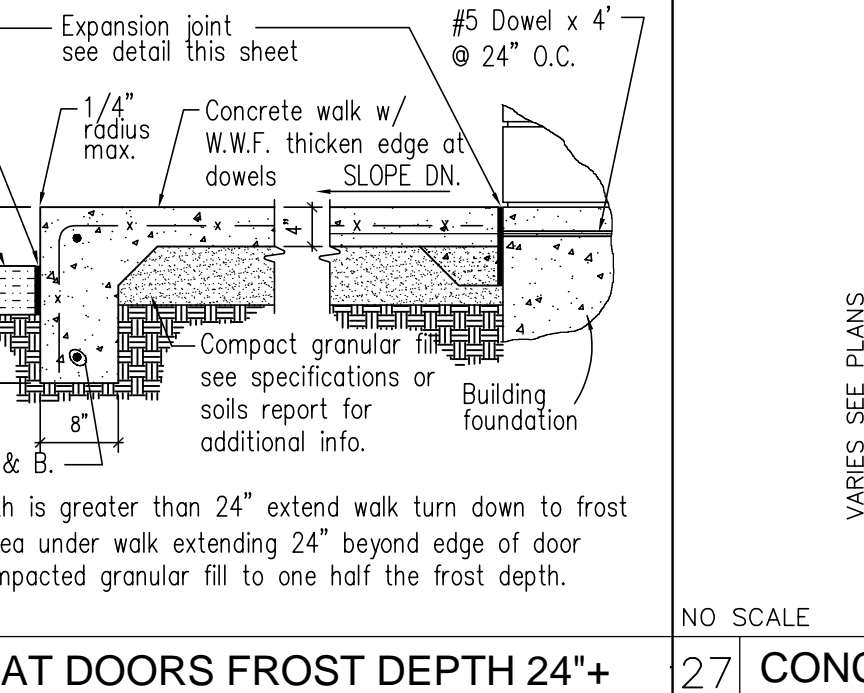
23 TYPICAL CONTROL JOINT



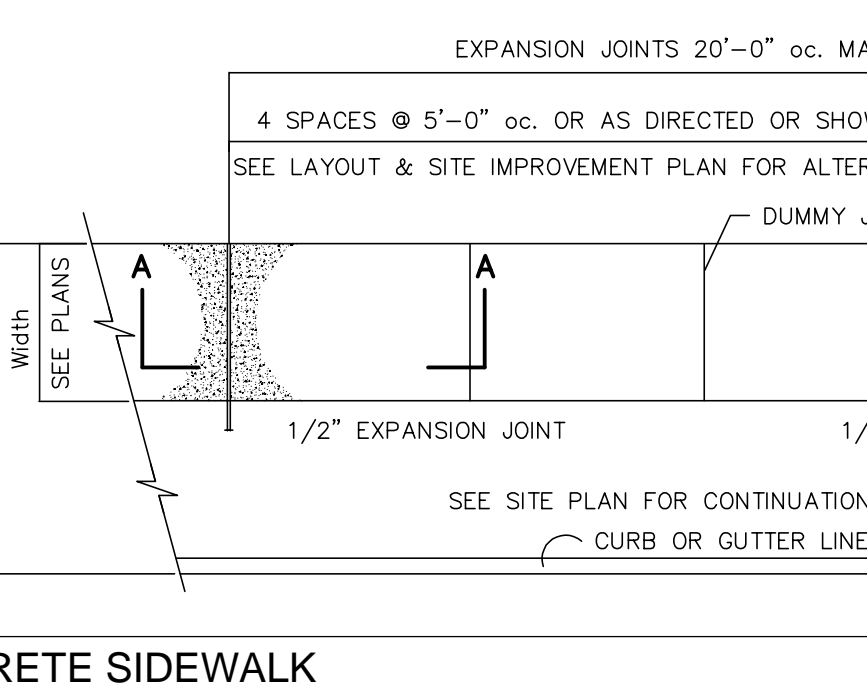
24 FROST DEPTH NOTES



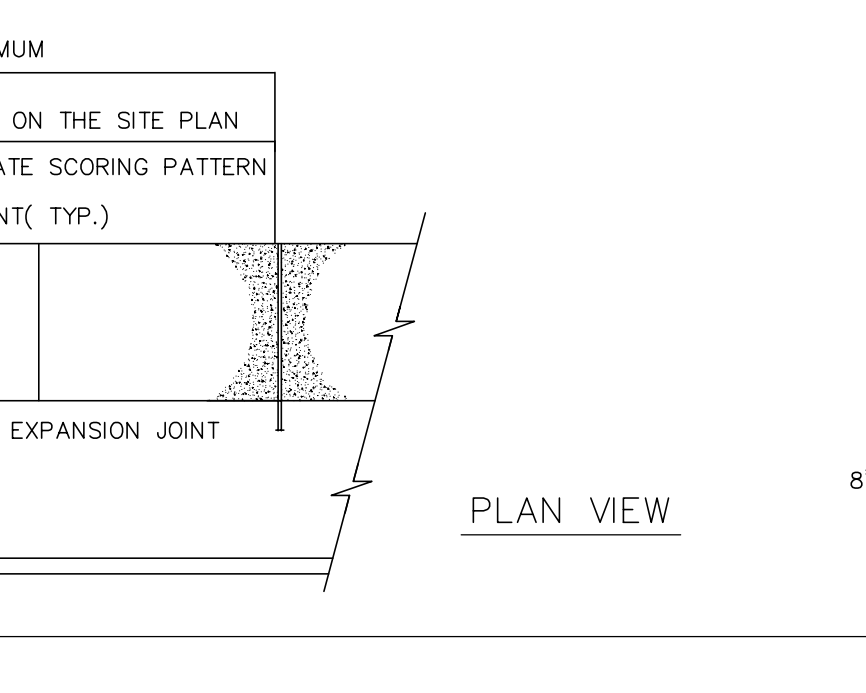
25 UNUSED



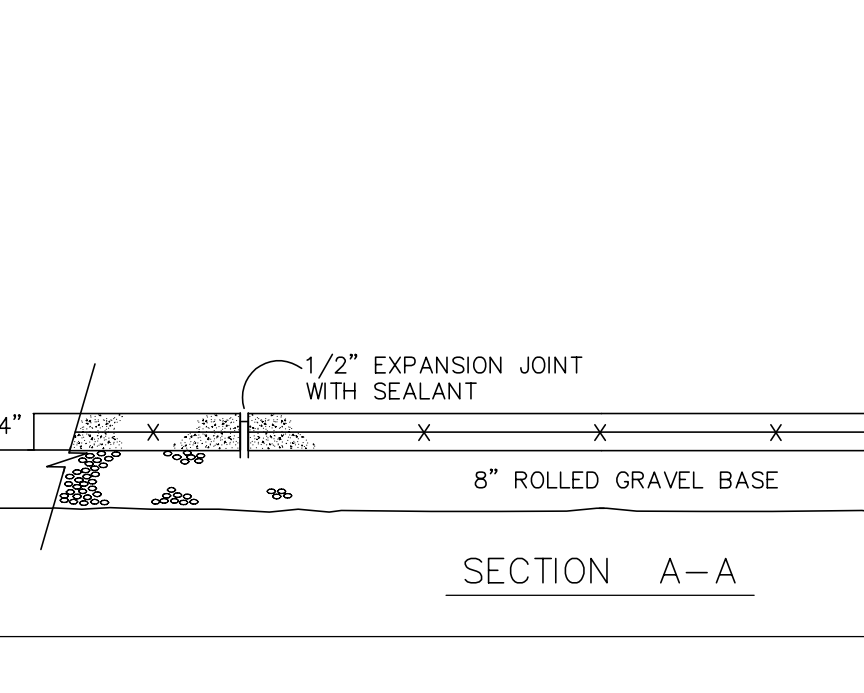
26 WALK AT DOORS FROST DEPTH 24"+



27 CONCRETE SIDEWALK



22 TYPICAL EXPANSION JOINT



23 TYPICAL CONTROL JOINT

**NorthStarDesign LLC**  
 CIVIL & CONSULTING ENGINEERS  
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 36 ROUTE 51, BLDG. SUITE 1404  
 WINDSOR, NJ 07093  
 WWW.NORTHSTARDESIGNLLC.COM  
 NJ CERTIFICATE OF AUTHORIZATION NO. 246389900

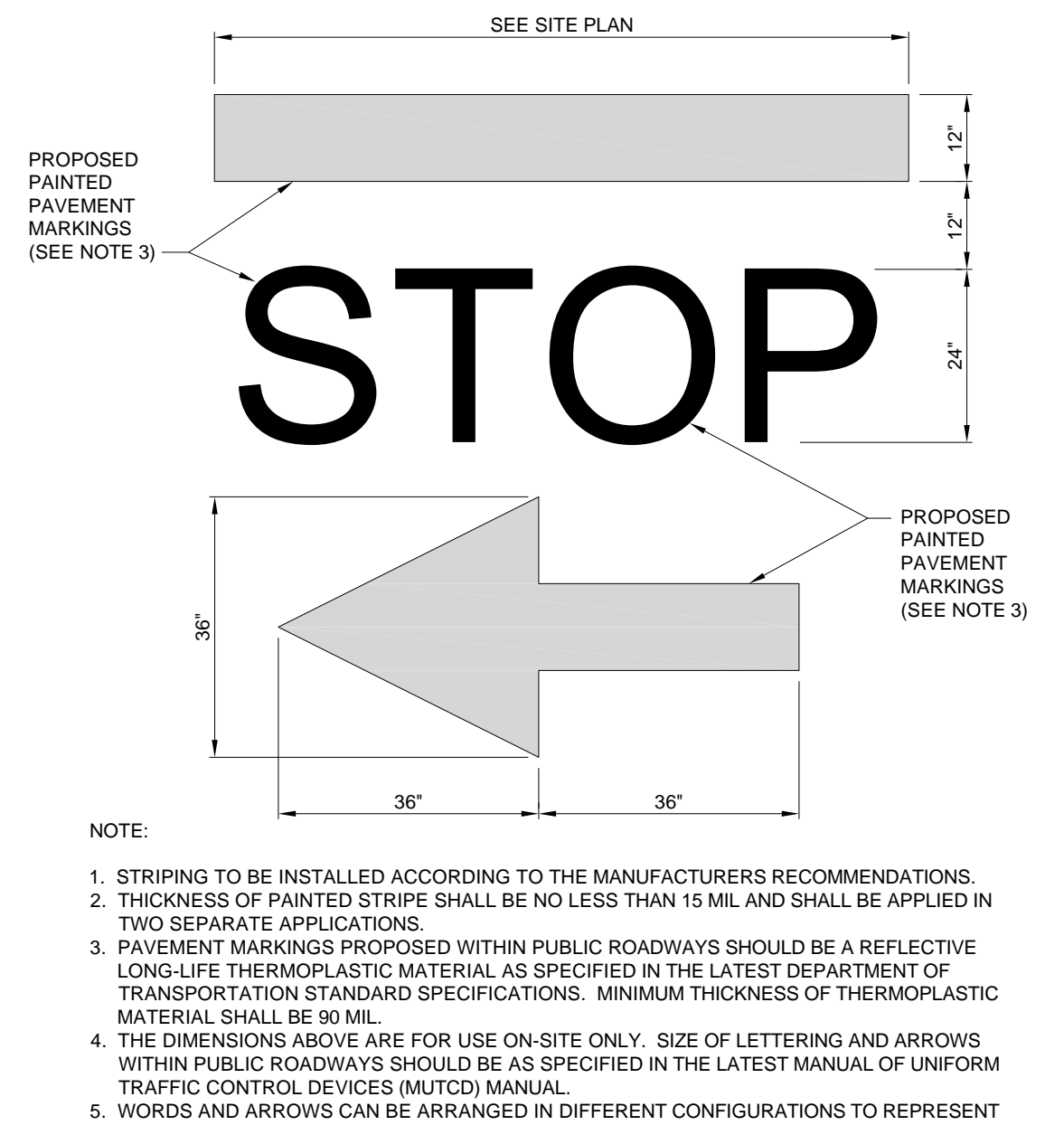
REV.	DATE	REVISION COMMENT
1	11/10/22	REV. PER DRAINAGE CALCS

**PRELIMINARY AND FINAL SITE PLAN**  
**AUTOZONE (STORE #3644)**  
 BLOCK 6.07, LOT 14.02 TAX MAP SHEET #9  
 40-50 PRINCETON-HIGHTSTOWN ROAD  
 TOWNSHIP OF EAST WINDSOR  
 MERCER COUNTY, NEW JERSEY

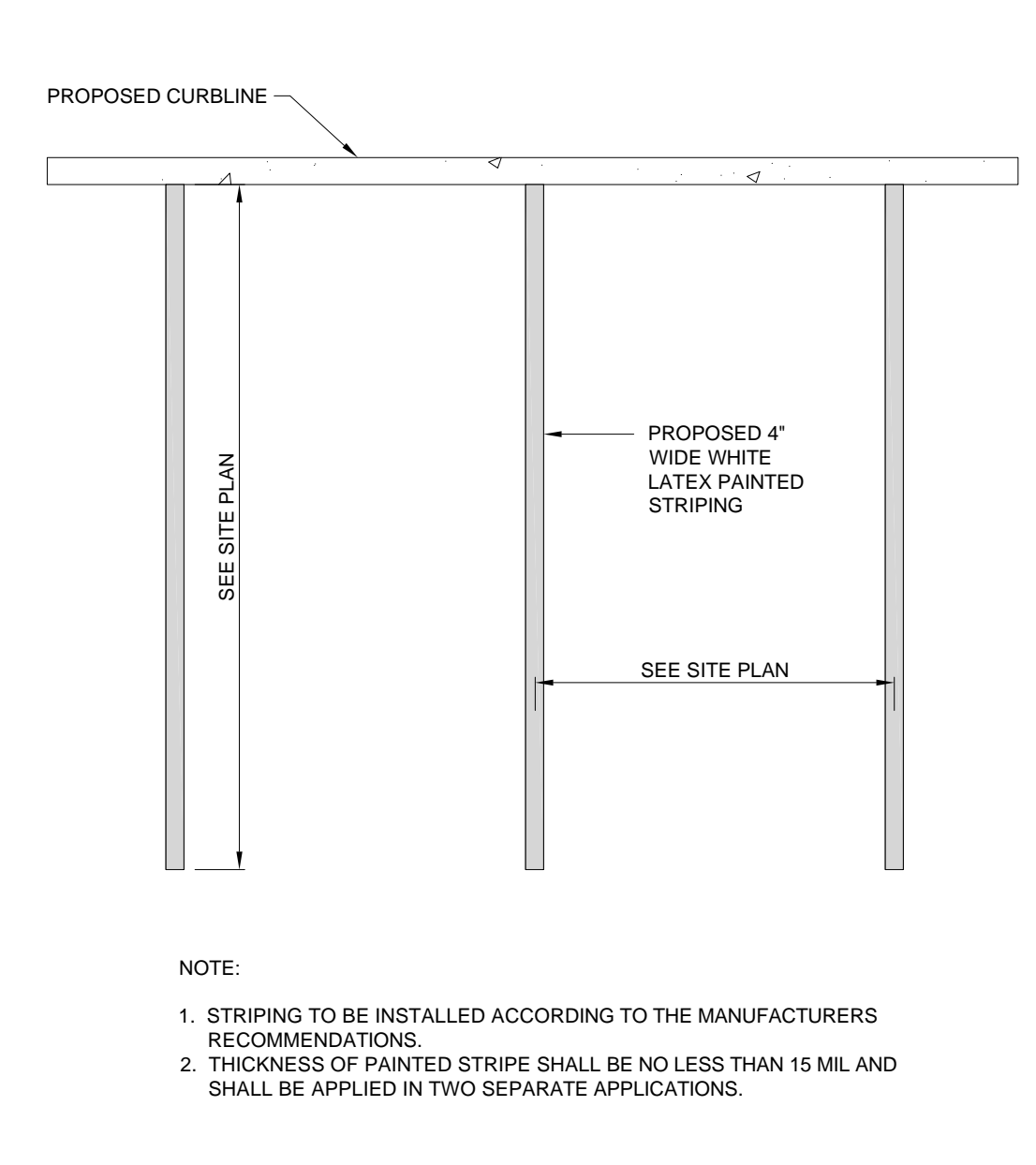
**T. F. PUGSLEY, Jr.**  
*Thomas F. Pugsley Jr.*  
 PROFESSIONAL ENGINEER  
 NJ LICENSE No. 43527

**DETAIL SHEET**  
 SHEET NO.: **C1.6**  
 8 OF 13  
 DESIGN DATE: 7/20/22  
 DESIGNED BY: NJH  
 CHECKED BY: TFP  
 DRAWING SCALE: As Shown  
 PROJECT #: 21-020  
 CAD FILE: 21-020SD01  
 ZONING DISTRICT: H-C ZONE  
 REVISION 1 11/10/22

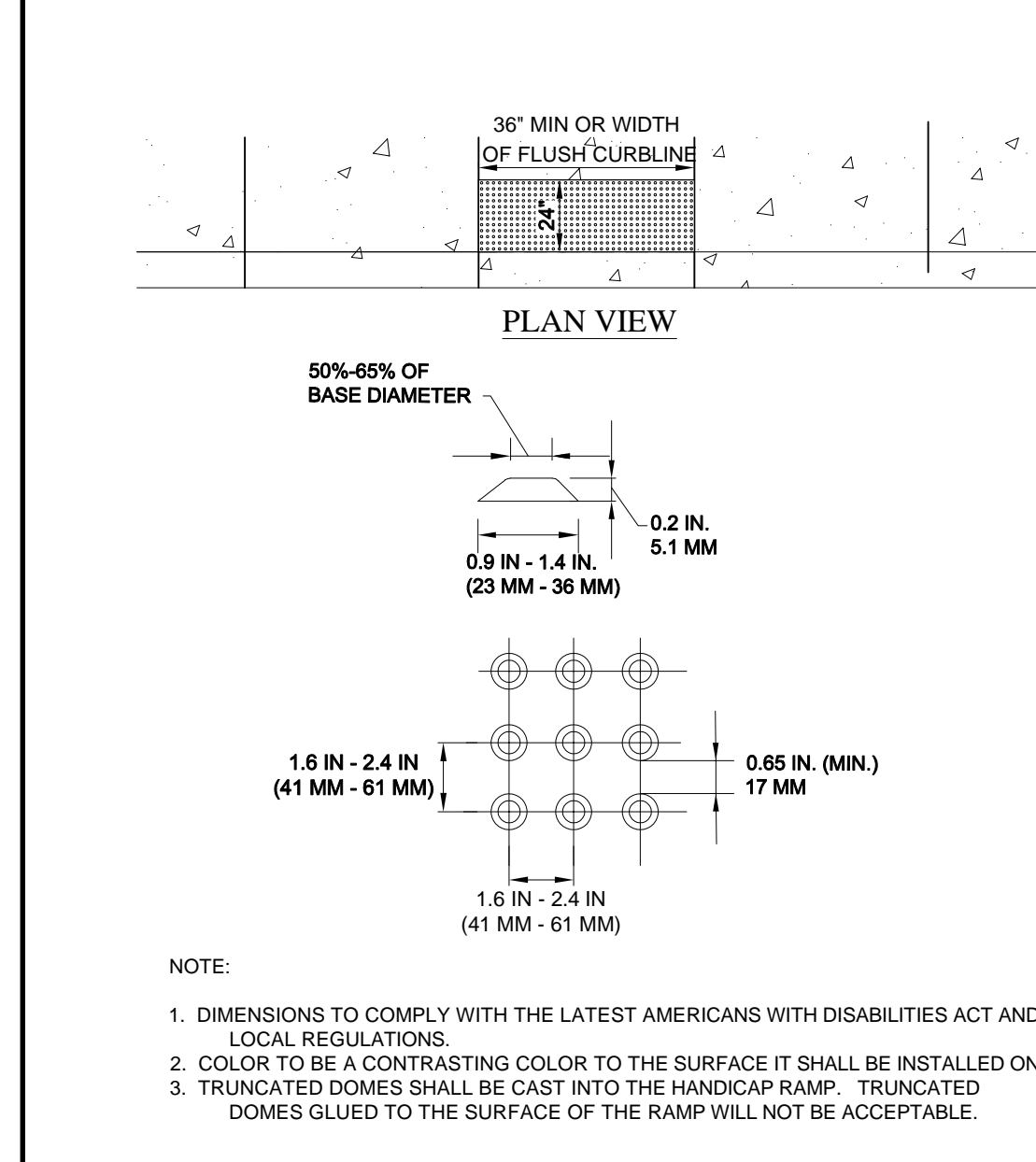




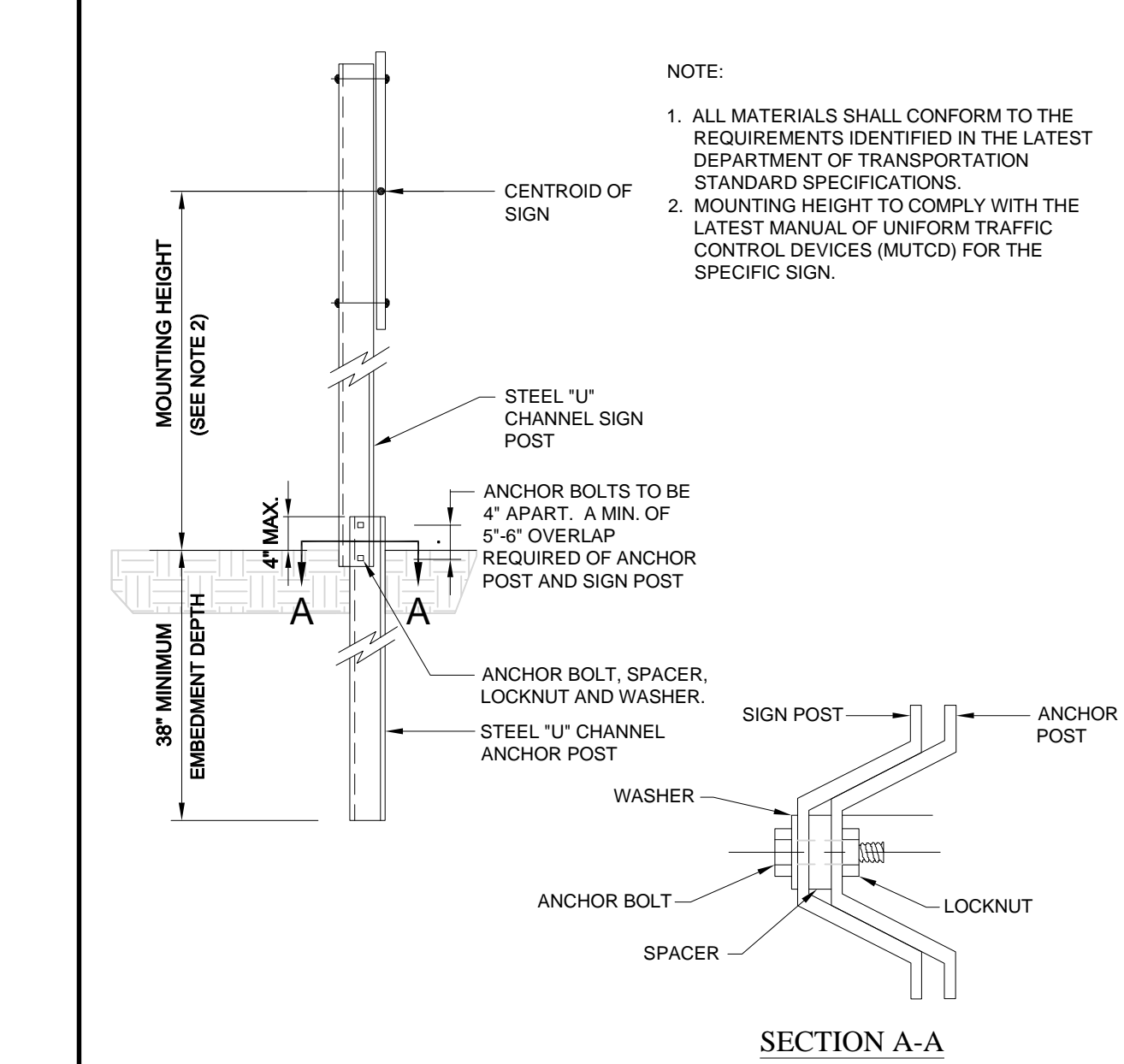
**1** PAVEMENT MARKING DETAILS  
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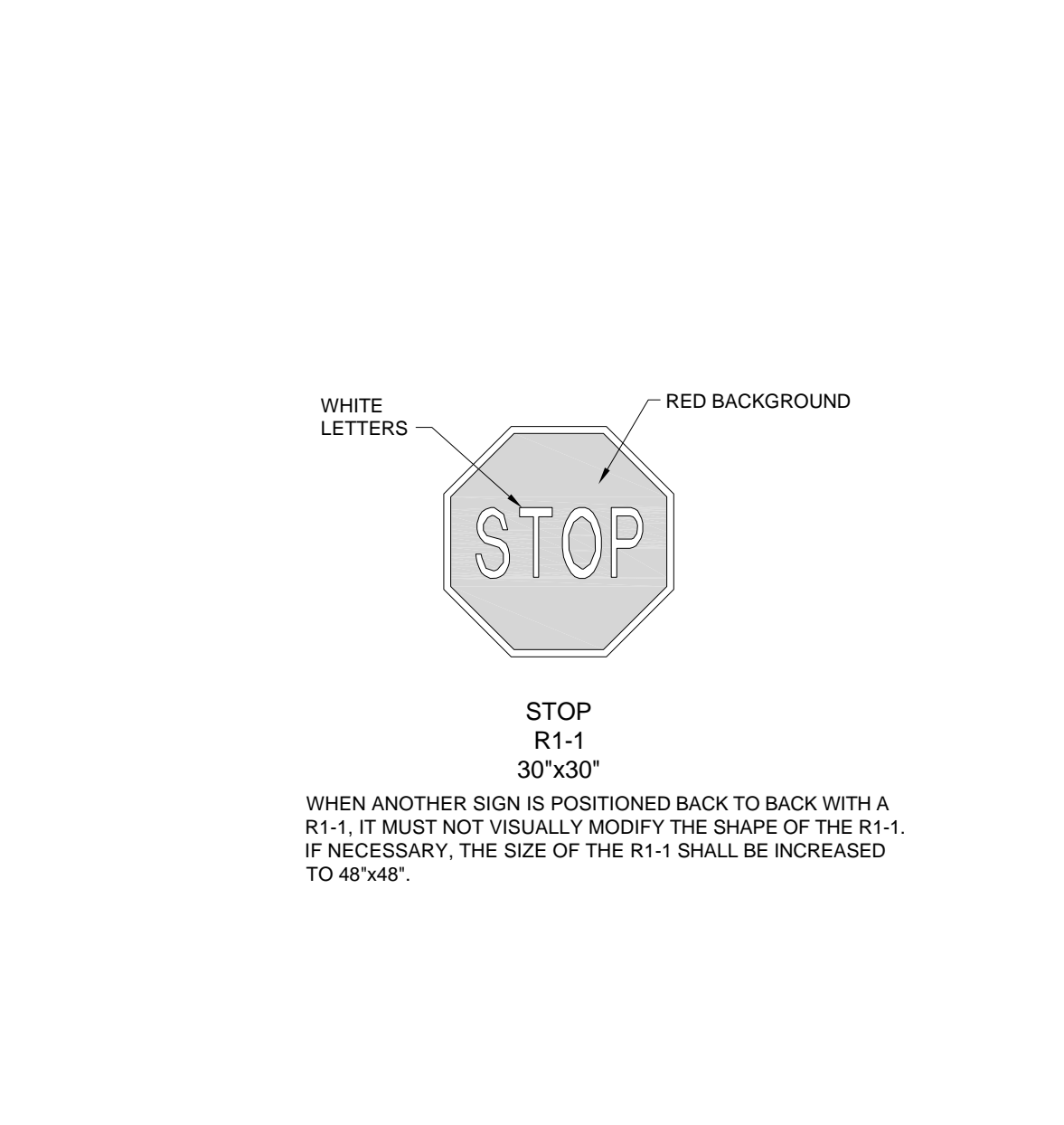
**2** PARKING STALL DETAIL  
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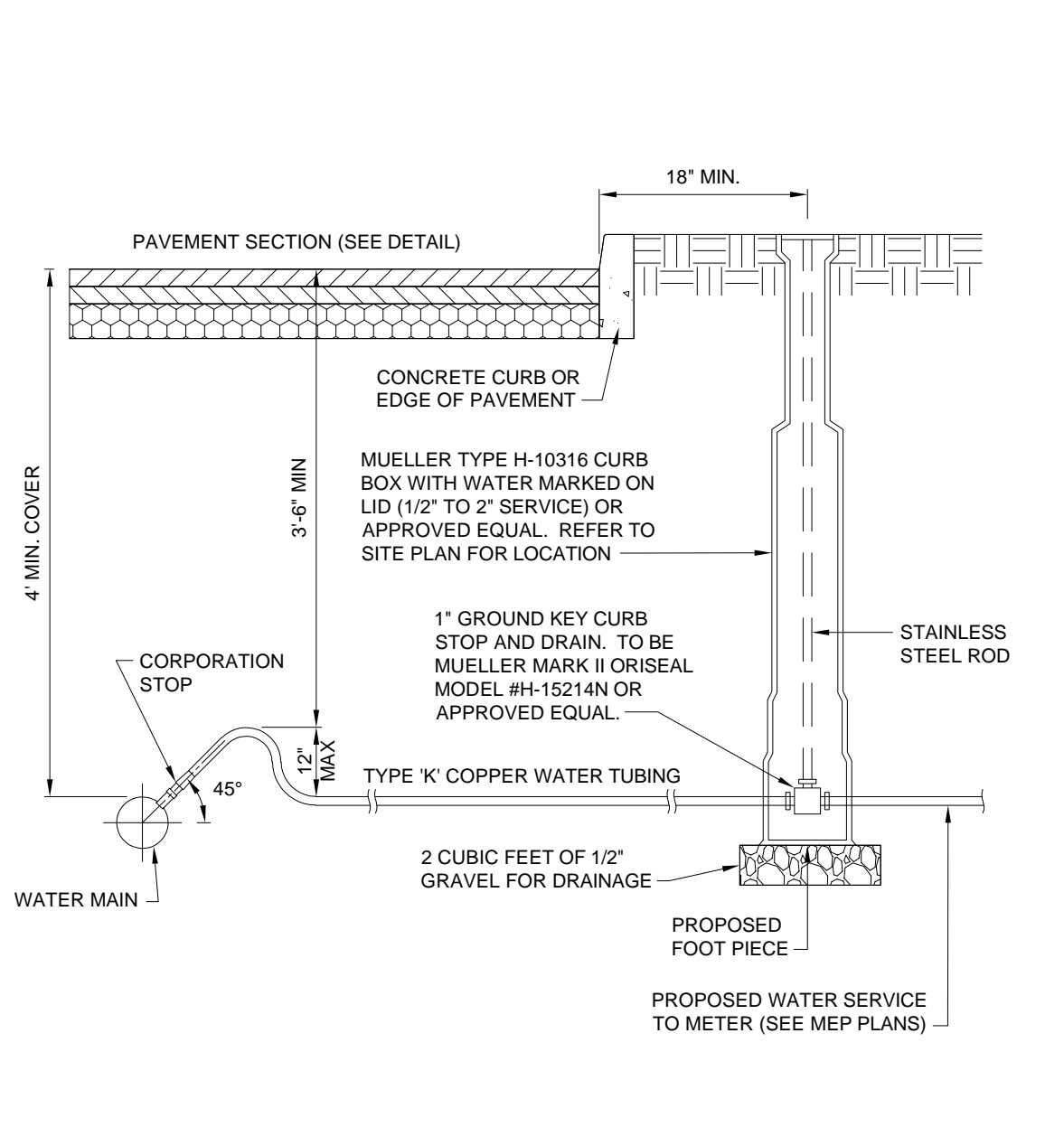
**3** TRUNCATED DOME DETAIL  
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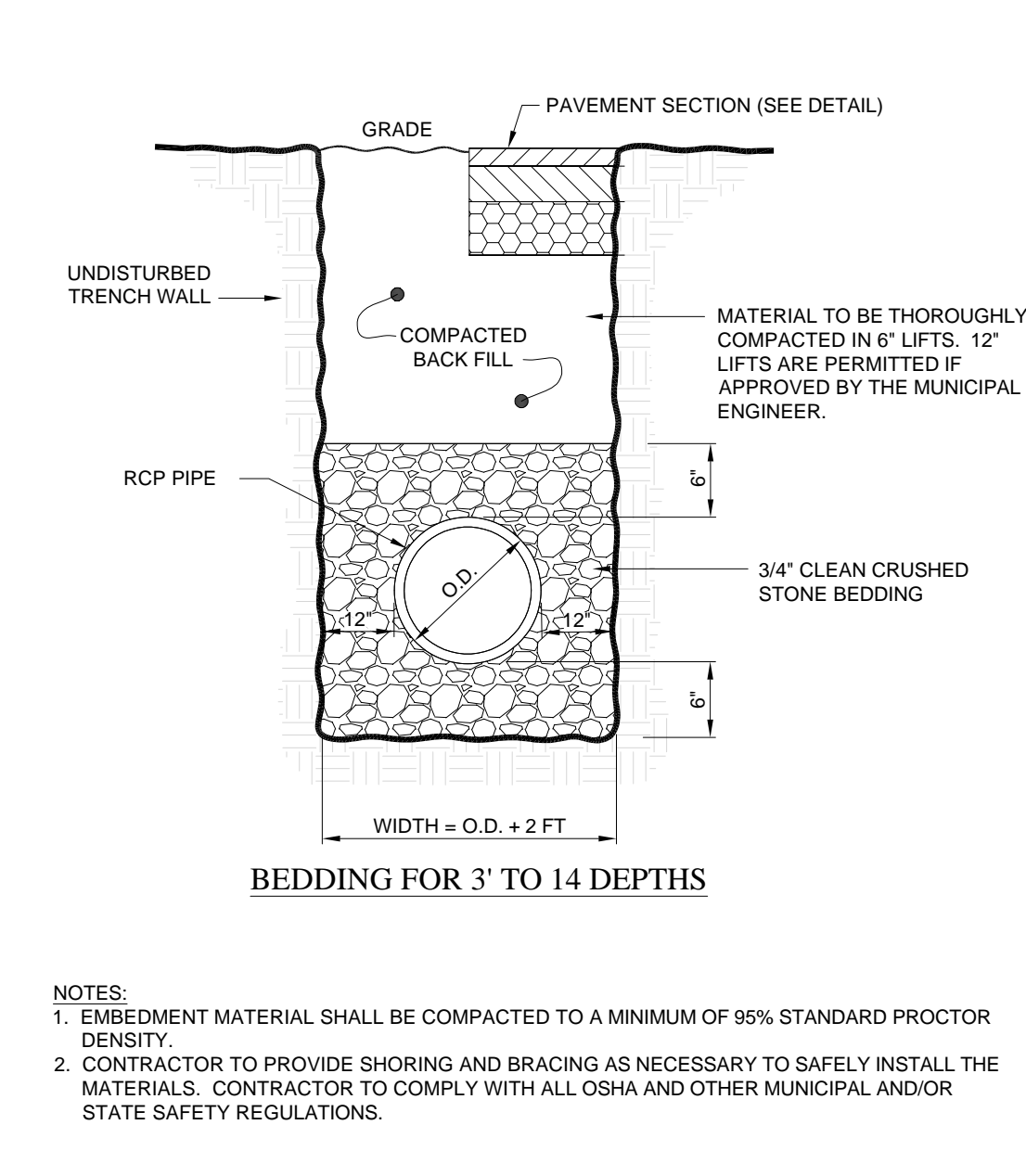
**4** BREAKAWAY SIGN POST DETAIL  
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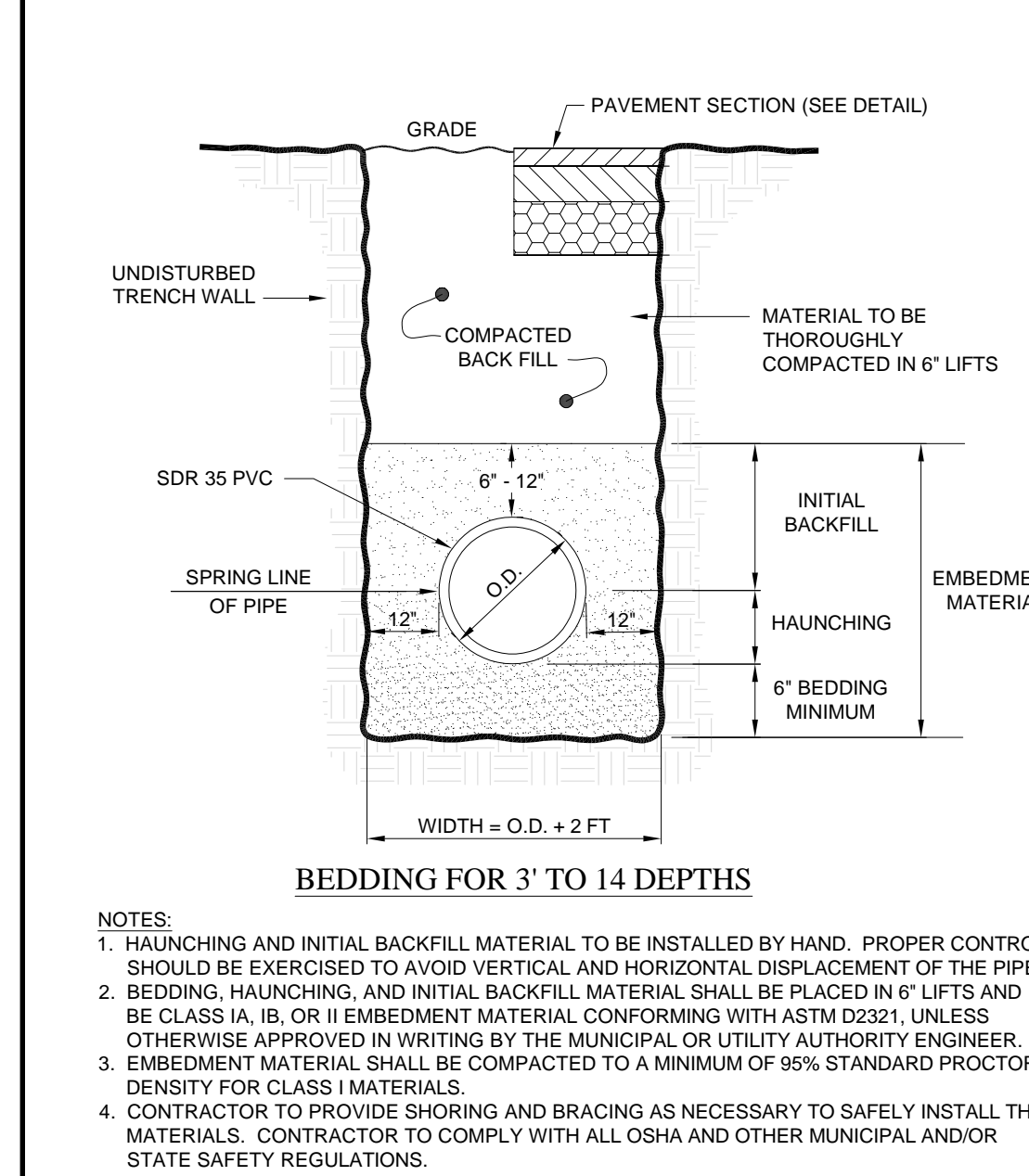
**5** STOP SIGN DETAIL  
N.T.S.



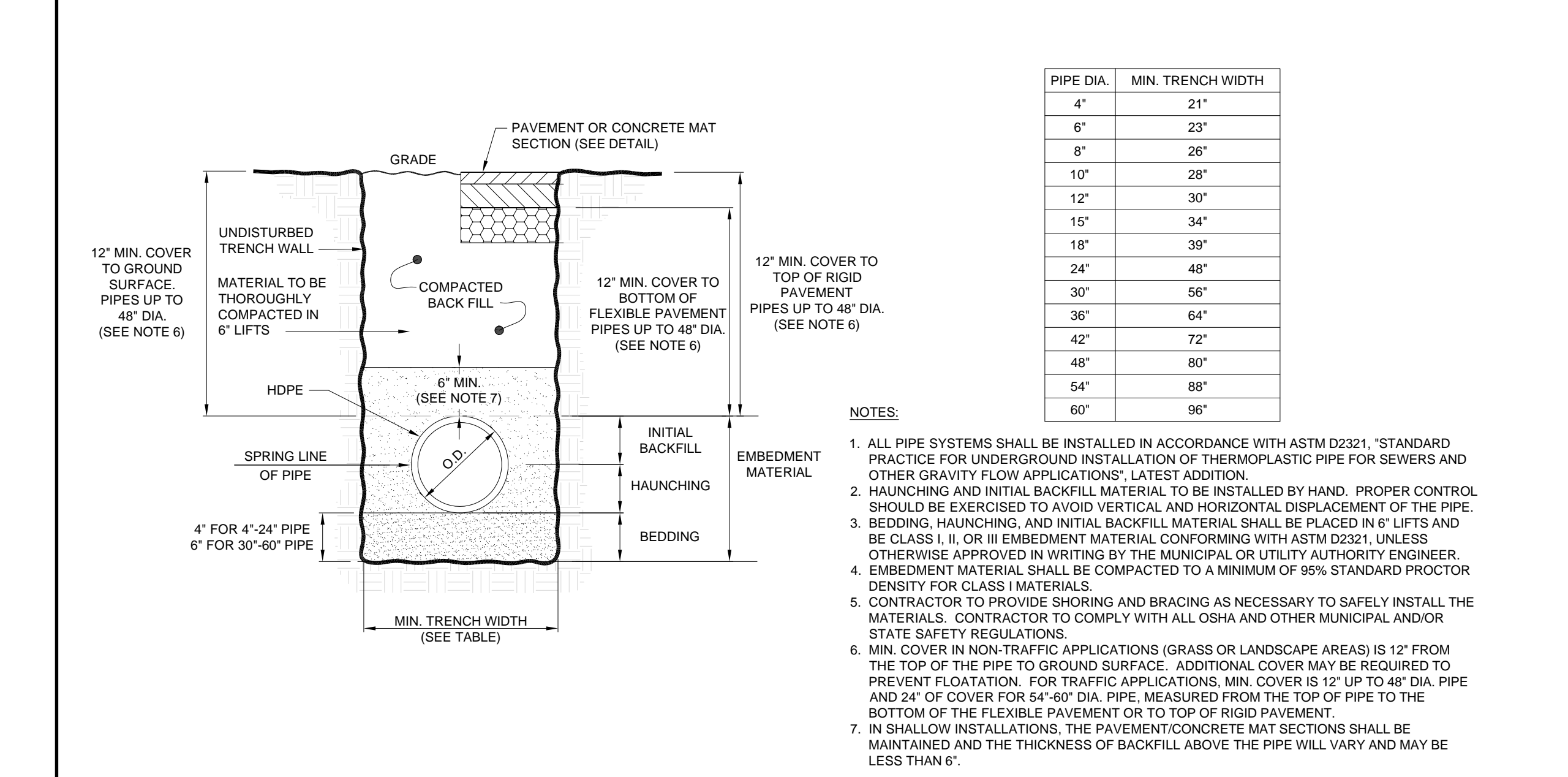
**6** TYP. 1" WATER SERVICE CONNECTION DETAIL  
N.T.S.



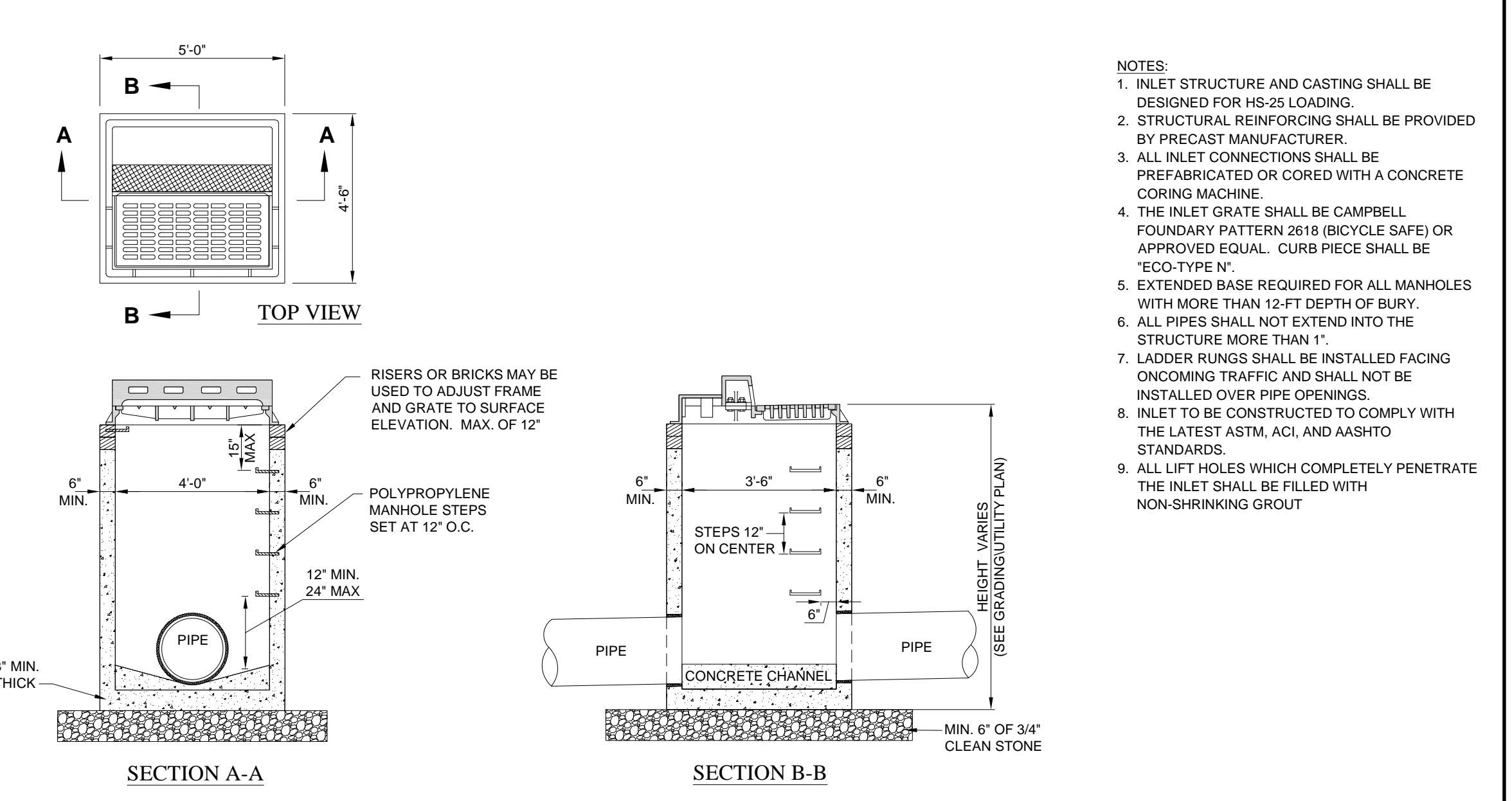
**7** STORM PIPE BEDDING (RCP) DETAIL  
N.T.S.



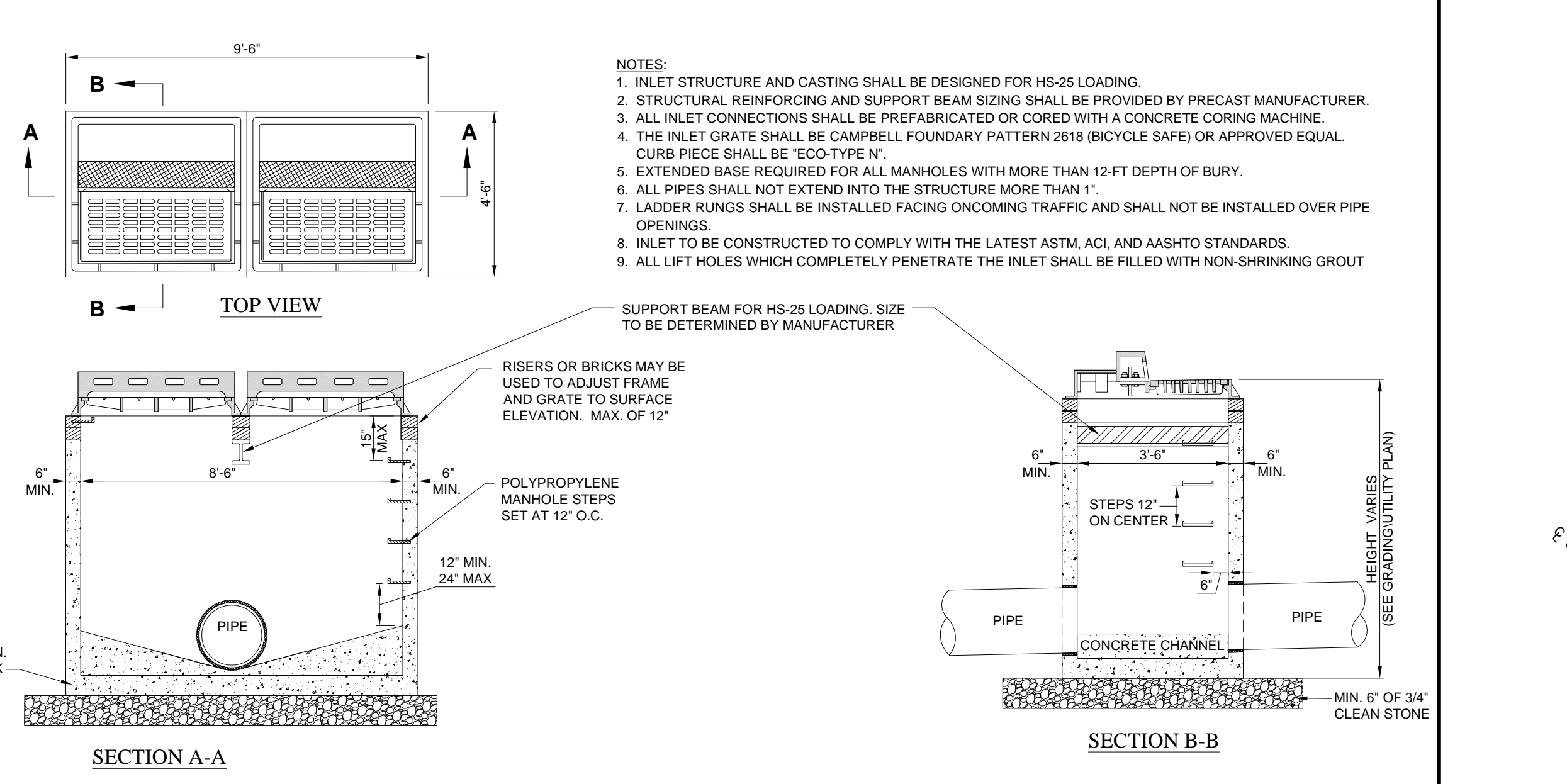
**8** UTILITY PIPE BEDDING (PVC) DETAIL  
N.T.S.



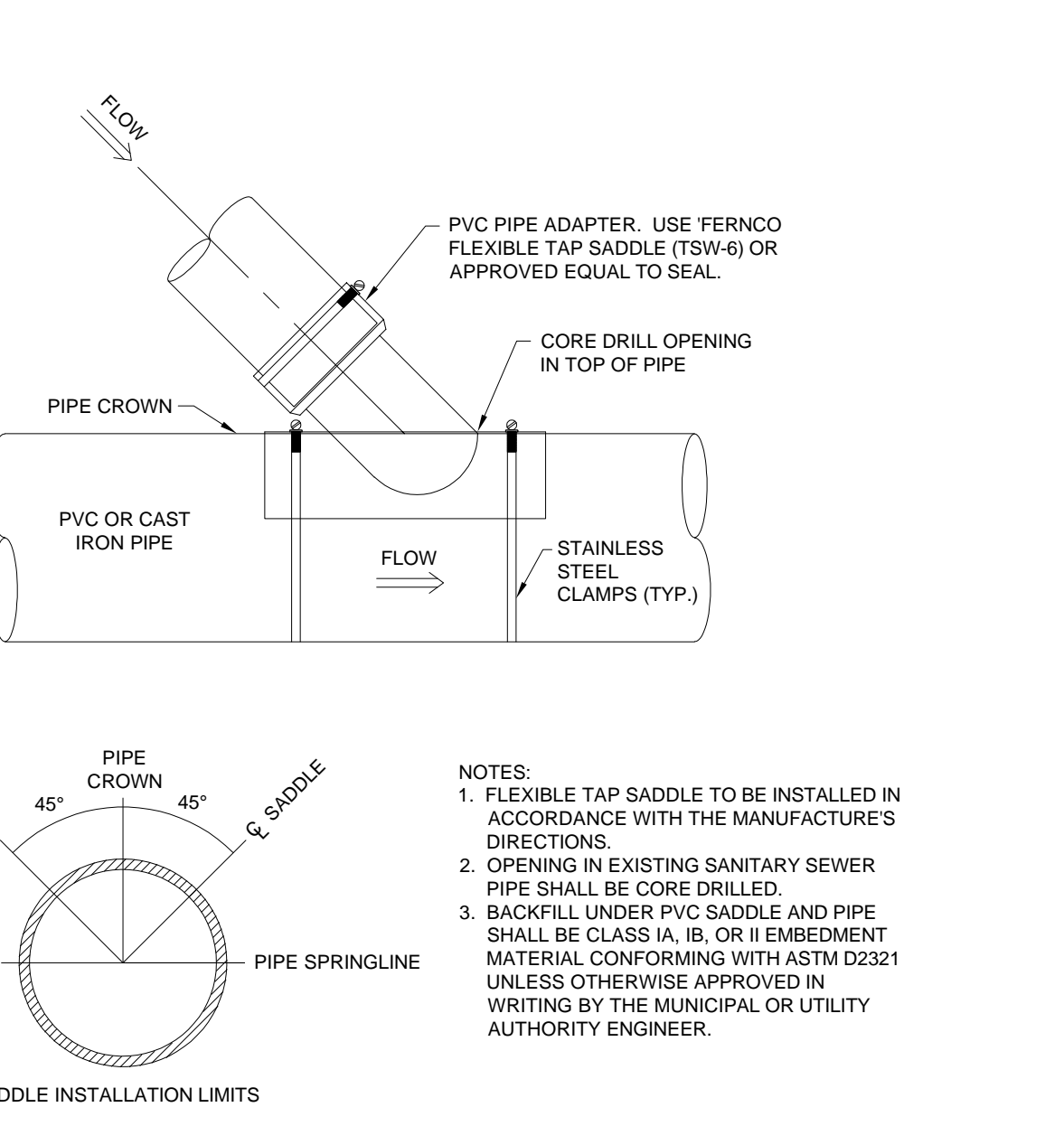
**9** UTILITY PIPE BEDDING (HDPE) DETAIL  
N.T.S.



**10** PRECAST "B" INLET DETAIL  
N.T.S.



**11** PRECAST DOUBLE "B" INLET DETAIL  
N.T.S.



**12** LATERAL SADDLE CONNECTION DETAIL  
N.T.S.

**NorthStarDesign LLC**  
 CIVIL & CONSULTING ENGINEERS

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 36 ROUTE 31, BLDG. SUITE 1404  
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REV.	DATE	REVISION COMMENT	BY:
1	11/10/22	REV. PER DRAINAGE CALCS	CM

**PRELIMINARY AND FINAL SITE PLAN**

**AUTOZONE (STORE #3644)**

BLOCK 6.07, LOT 14.02, TAX MAP SHEET #9  
 40-50 PRINCETON-HIGHTSTOWN ROAD  
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**T. F. PUGSLEY, Jr.**

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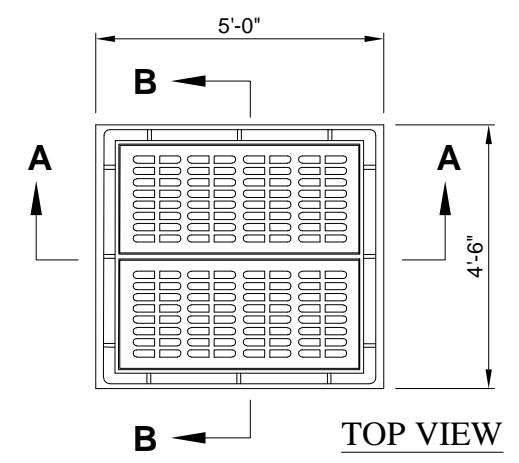
PROFESSIONAL ENGINEER  
 NJ LICENSE No. 43527

SHEET TITLE:  
**DETAIL SHEET**

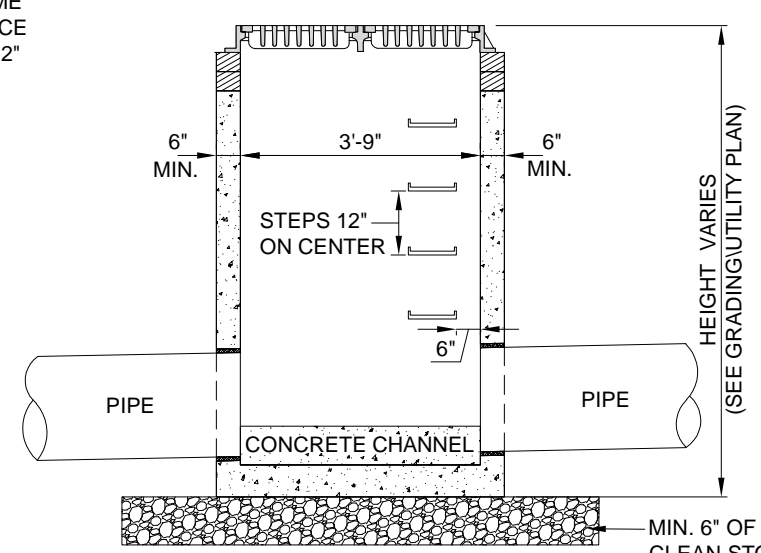
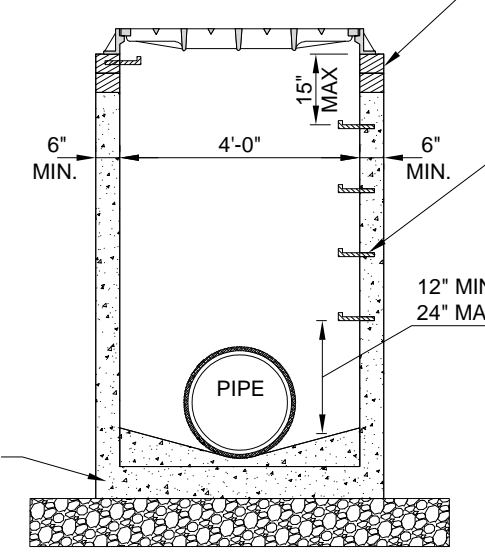
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**C1.7**  
 9 OF 13

DESIGN DATE: 7/20/22  
 DESIGNED BY: NJH  
 CHECKED BY: TFP  
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 PROJECT #: 21-020  
 CAD FILE: 21-020SD01  
 ZONING DISTRICT: H-C ZONE

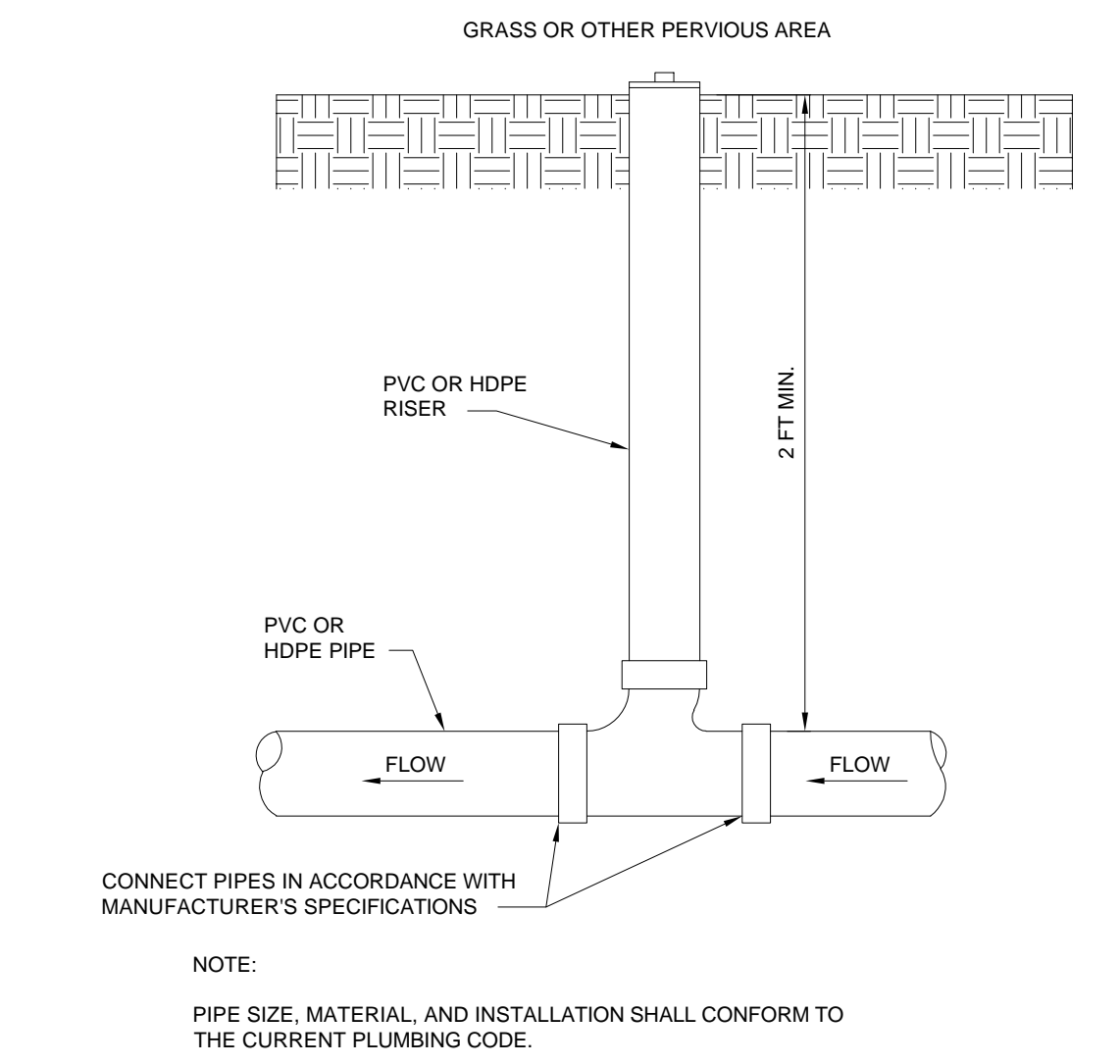
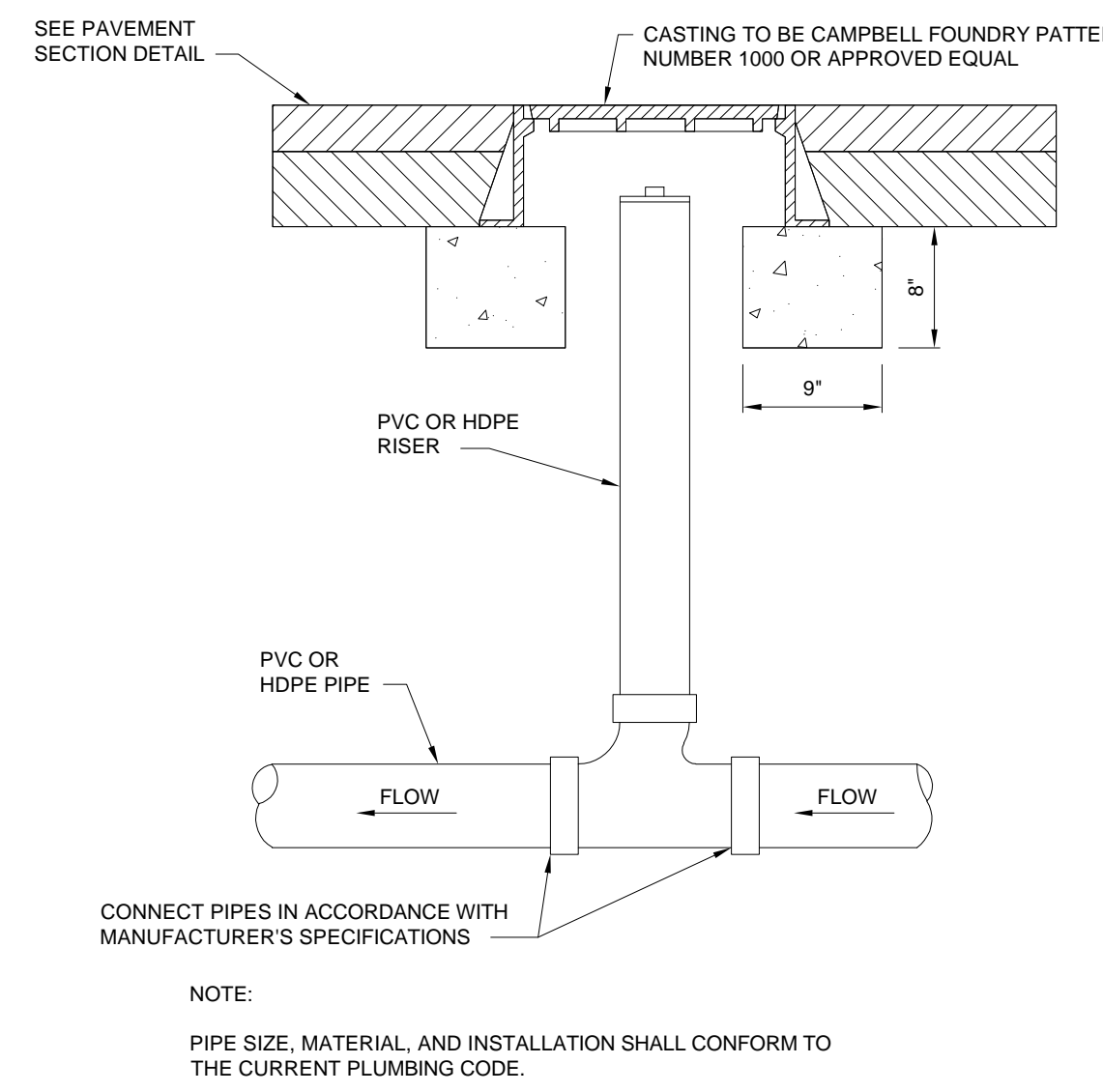
REVISION 1 11/10/22



RISERS OR BRICKS MAY BE USED TO ADJUST FRAME AND GRATE TO SURFACE ELEVATION. MAX. OF 12"



- NOTES:
1. INLET STRUCTURE AND CASTING SHALL BE DESIGNED FOR HS-25 LOADING.
  2. STRUCTURAL REINFORCING SHALL BE PROVIDED BY PRECAST MANUFACTURER.
  3. ALL INLET CONNECTIONS SHALL BE PREFABRICATED OR CORED WITH A CONCRETE CORING MACHINE.
  4. THE INLET GRATE SHALL BE CAMPBELL FOUNDRY PATTERN 3425 (BICYCLE SAFE) OR APPROVED EQUAL.
  5. ALL PIPES SHALL NOT EXTEND INTO THE STRUCTURE MORE THAN 1".
  6. LADDER RUNGS SHALL BE INSTALLED FACING ONCOMING TRAFFIC AND SHALL NOT BE INSTALLED OVER PIPE OPENINGS.
  7. INLET TO BE CONSTRUCTED TO COMPLY WITH THE LATEST ASTM, ACI, AND AASHTO STANDARDS.
  8. ALL LIFT HOLES WHICH COMPLETELY PENETRATE THE INLET SHALL BE FILLED WITH NON-SHRINKING GROUT.



1

**PRECAST "E" INLET DETAIL**  
N.T.S.

2

**TYPICAL CLEANOUT DETAIL**  
N.T.S.

3

**TYPICAL CLEANOUT DETAIL**  
N.T.S.

4

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6

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**North Star Design LLC**  
CIVIL & CONSULTING ENGINEERS

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NJ CERTIFICATE OF AUTHORIZATION No. 246A389990

REV.	DATE	REVISION COMMENT	BY:
1	11/10/22	REV. PER DRAINAGE CALCS	CM

**PRELIMINARY AND FINAL SITE PLAN**

**AUTOZONE (STORE #3644)**

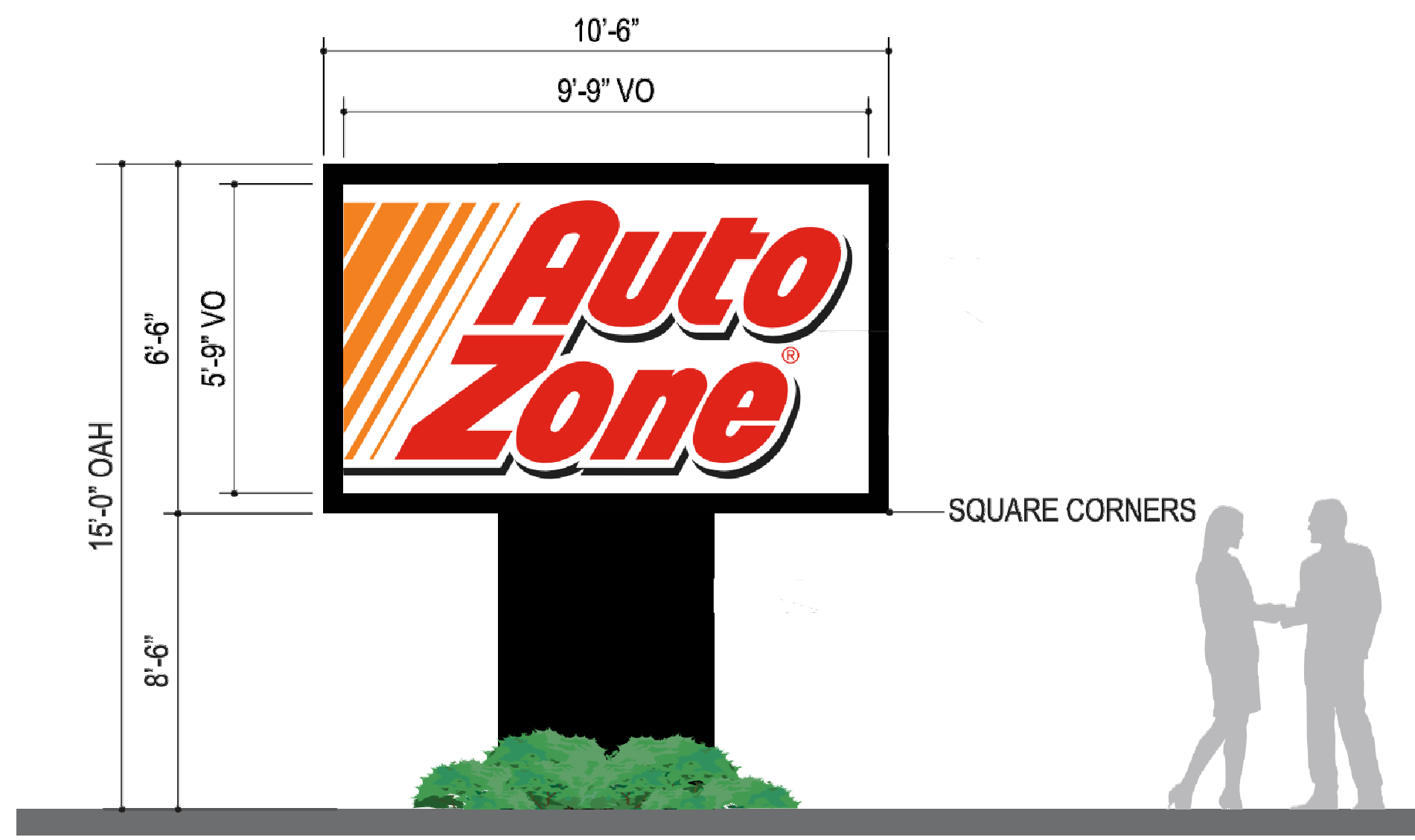
BLOCK 6.07, LOT 14.02, TAX MAP SHEET #9  
40-50 PRINCETON-HIGHTSTOWN ROAD  
TOWNSHIP OF EAST WINDSOR  
MERCER COUNTY, NEW JERSEY

**T. F. PUGSLEY, Jr.**  
*T. F. Pugsley Jr.*  
PROFESSIONAL ENGINEER  
NJ LICENSE No. 43527

SHEET TITLE:  
**DETAIL SHEET**

SHEET NO.:  
**C1.8**  
10 OF 13

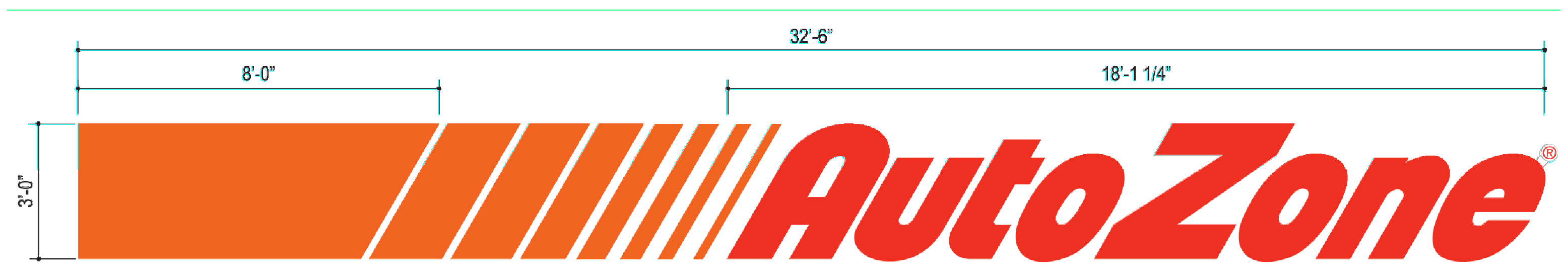
DESIGN DATE:	7/20/22
DESIGNED BY:	NJH
CHECKED BY:	TFP
DRAWING SCALE:	As Shown
PROJECT #:	21-020
CAD FILE:	21-020SD01
ZONING DISTRICT:	H-C ZONE
REVISION 1	11/10/22



NOTE: SIGN IS INTERNALLY ILLUMINATED.  
SIGN AREA = ±68.25 SF PER SIDE

1

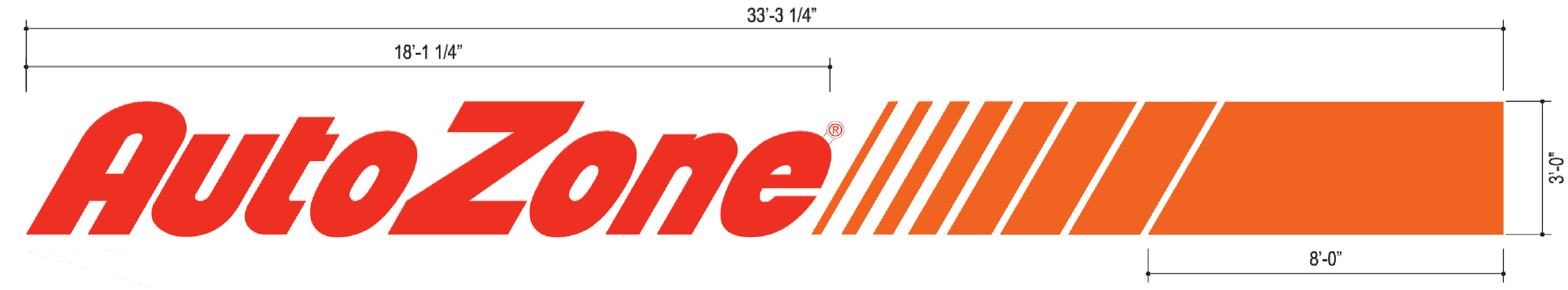
FREESTANDING SIGN DETAIL (SIGN A)  
NTS



NOTE: SIGN IS INTERNALLY ILLUMINATED  
SIGN AREA = ±97.5 SF

2

AUTOZONE WALL SIGN - SOUTH FACADE - (SIGN C)  
NTS



NOTE: SIGN IS INTERNALLY ILLUMINATED  
SIGN AREA = ±100 SF

3

AUTOZONE WALL SIGN - EAST FACADE - (SIGN B)  
NTS

4

5

**PRELIMINARY AND FINAL  
SITE PLAN**  
**AUTOZONE (STORE #3644)**  
BLOCK 6.07, LOT 14.02 TAX MAP SHEET #9  
40-50 PRINCETON-HIGHTSTOWN ROAD  
TOWNSHIP OF EAST WINDSOR  
MERCER COUNTY, NEW JERSEY

**T. F. PUGSLEY, Jr.**  
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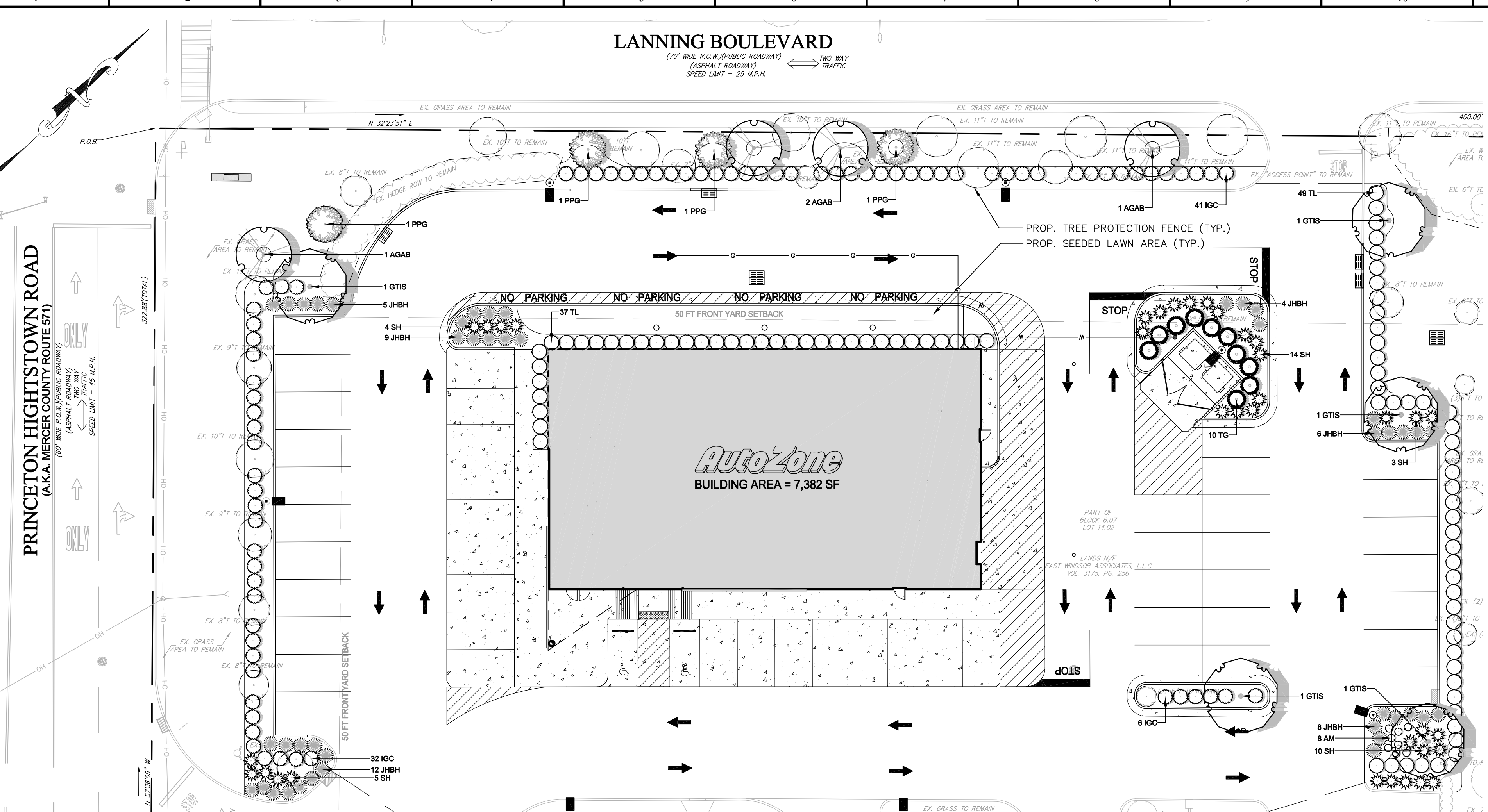
SHEET TITLE:  
**DETAIL SHEET**  
SHEET NO.:  
**C1.9**  
11 OF 13

DESIGN DATE: 7/20/22  
DESIGNED BY: NJH  
CHECKED BY: TFP  
DRAWING SCALE: As Shown  
PROJECT #: 21-020  
CAD FILE: 21-020SD01  
ZONING DISTRICT: H-C ZONE

REVISION 1 11/10/22

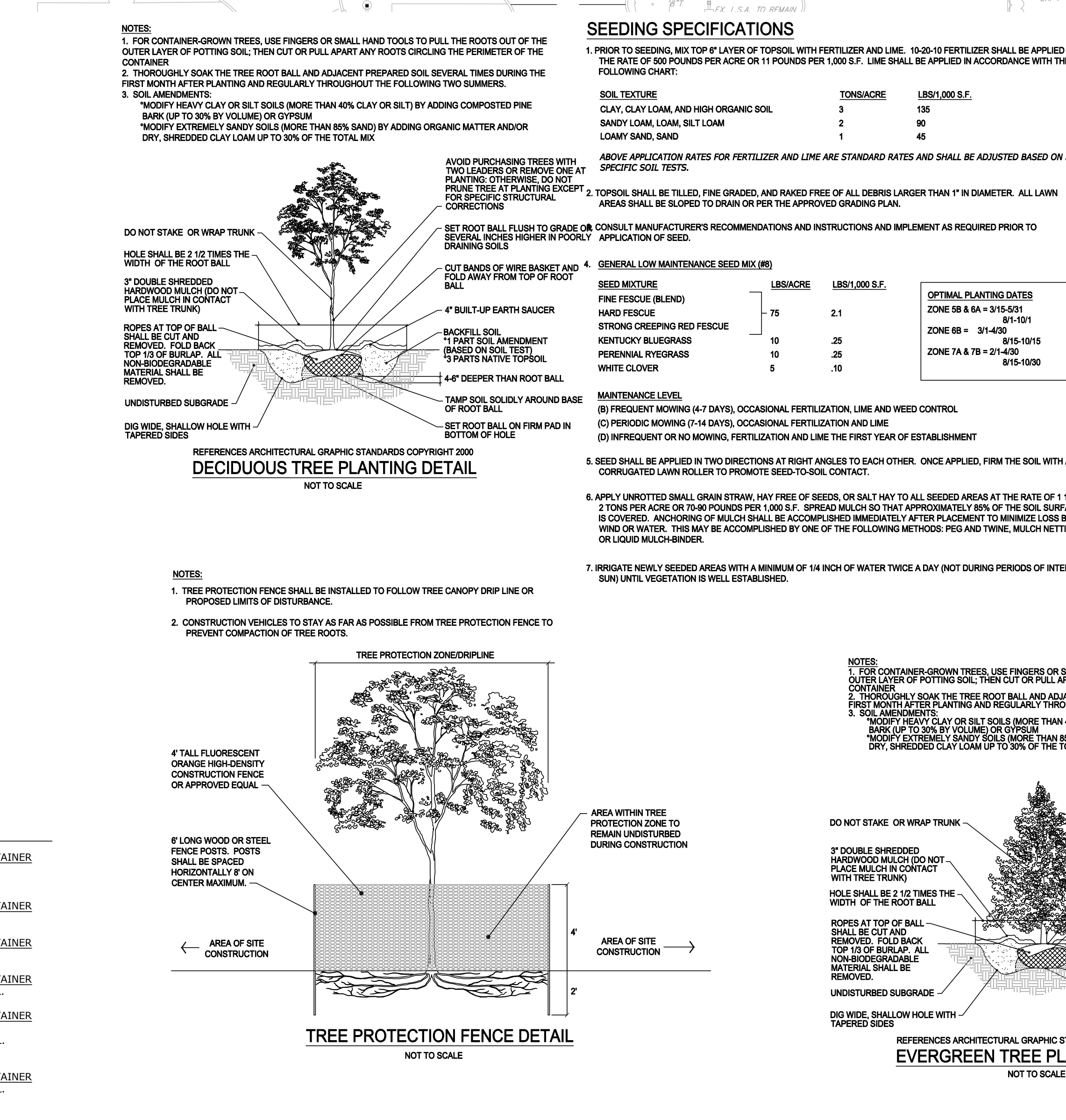
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SECTION	REQUIRED	PROPOSED
22-27.3: STREETSCAPE	A.1. SHADE TREES SHALL BE PROVIDED WITHIN THE RIGHT-OF-WAY OR EASEMENT GRANTED TO THE TOWNSHIP BY THE OWNER OF APPLICANT FOR THE PLANTING AND MAINTENANCE OF TREES ALONG BOTH SIDES OF A STREET IN THE PLANNING AREA PROVIDED BETWEEN THE STREET CURB AND THE SIDEWALK AS PER SUBSECTION 22-4.3, AND AT A SPACING OF BETWEEN 35 AND 50 FEET BETWEEN TREES. THE TREES SHALL BE PLANTED SO AS NOT TO INTERFERE WITH UTILITIES, ROADWAYS, SIDEWALKS, STREET LIGHTS, SIGHT DISTANCES, DRIVEWAY APPROACH AND SHALL BE PLANTED CLOSER THAN EIGHT FEET TO FIRE HYDRANTS. A.2. ALL TREES SHALL HAVE A MINIMUM SIZE OF TWO AND ONE-HALF TO THREE INCHES CALIPER. B.5. IF EXISTING TREES ARE PRESERVED WITHIN TEN FEET OF THE CARTRAY THE REQUIREMENTS FOR ADDITIONAL STREET TREE PLANTINGS MAY BE REDUCED.	TOTAL LENGTH ALONG LANNING BOULEVARD: 315.5' 315.5'/50' = 6.3 OR 6 TREES PROPOSED: 5 EXISTING TREES WITHIN 10' OF THE CARTRAY. TOTAL LENGTH ALONG PRINCETON HIGHTSTOWN ROAD: 146.7' 146.7'/50' = 2.9 OR 3 TREES PROPOSED: 4 EXISTING TREES *FRONTAGE LINES EXCLUDE DRIVE ALLEYS
22-27.7: LANDSCAPE BUFFERS AND STRIPS	B. FILTERED LANDSCAPE TREATMENT. THIS TYPE OF LANDSCAPE ARCHITECTURAL TREATMENT IS APPROPRIATE IN BUFFER AREAS OR GREEN SPACE WHICH IS BEYOND THE IMPACT OF ALL LAND USE YET STILL ALLOW VIEWS BEYOND THE BUFFER AREA. IN PARTICULAR THIS TYPE OF BUFFER SHALL BE PROVIDED ALONG THE PERIMETER OF ALL PARKING AREAS, INTERIOR DRIVEWAYS, OR LANES AND THE PERIMETER OF A SITE WHICH ABUTS A LAKE, STREET, ROAD, HIGHWAY OR AN ADJACENT SITE AND A COMPLETE VISUAL SCREEN IS NOT APPROPRIATE. A BUFFER SHALL BE PROVIDED TO SCREEN UNSAFE OBSTRUCTIONS SUCH AS GLARE FROM CARS AND LIGHT STANDARDS. TO PROVIDE A VISUAL SCREENING ENVIRONMENT, AND TO PROVIDE SPATIAL DEFINITION TO AVOID CONFUSION. THE FOLLOWING STANDARDS SHALL APPLY: ET: AS REQD. - 8' - 10' HEIGHT ET: 4 - 2.5" - 3" CALIPER. OT: AS REQD. - 6' - 7' HEIGHT S: 55 - 2.5' HEIGHT	TOTAL LENGTH ALONG LANNING BOULEVARD: 315.5' 315.5'/100' = 3.1 (MULTIPLIER) REQUIRED: 3.1 OR 3 ET. PROPOSED: 12 EXISTING ST. REQUIRED: 3.1 X 4 = 12.4 OR 12 ST. PROPOSED: 12 EXISTING ST. REQUIRED: 3.1 OR 3 OT. PROPOSED: 3 (AGAB) OT. REQUIRED: 3.1 X 55 = 170.5 OR 171 S. PROPOSED: 45 (IGC) AND 20 EXISTING S. TOTAL LENGTH ALONG PRINCETON HIGHTSTOWN: 146.7' 146.7'/100' = 1.4 (MULTIPLIER) REQUIRED: 1.4 OR 1 ET. PROPOSED: 1 (1995) ET. REQUIRED: 1.4 X 4 = 5.6 OR 2 ST. PROPOSED: 4 EXISTING ST. REQUIRED: 1.4 OR 1 OT. PROPOSED: 1 (AGAB) OT. REQUIRED: 1.4 X 55 = 77 S. PROPOSED: 32 (IGC) S.
22-27.8: PARKING AREAS	A. SHADE TREES WITHIN THE PARKING AREA SHALL BE PROVIDED AT A MINIMUM RATE OF TWO TREES FOR EVERY 100 SQUARE FEET OF PARKING SPACE. PRESERVATION OR RELOCATION OF EXISTING TREES GREATER THAN THREE INCHES CALIPER IS ENCOURAGED TO MEET THIS REQUIREMENT. LANDSCAPE BUFFER AREA PLANTINGS ARE NOT TO BE CONSIDERED TO SATISFY THIS REQUIREMENT.	REQUIRED: 49 SPACES / 10 = 4.9 SHADE TREES PROPOSED: 5 (GTIS) AT 2 1/2" CAL. AND A MIN. HEIGHT OF 12' TALL
22-27.9: GREEN SPACE	B. IN THE ISLANDS PROVIDED AT THE END OF INDIVIDUAL ROWS OF PARKING SPACES BETWEEN ACCESS ROADS OR ALLEYS PLANTING SHALL BE PROVIDED TO BUFFER THE VIEW OF PARKED CARS. PROVIDE SHADE, AND COVER THE GROUND PLANE. THE USE OF EXCESSIVE QUANTITIES OF UNPLANTED OR UNWEEDED MULCH SHALL BE AVOIDED DUE TO THE UNDESIRABLE REQUIREMENTS FOR WEED BARRIERS OR CHEMICAL WEED CONTROL TO MAINTAIN A NEAT AND MANICURED APPEARANCE. B. TO PROVIDE IMMEDIATE BUFFERING, VISUAL RELIEF, AND SCALE FOR LARGE OFFICE, COMMERCIAL, AND INDUSTRIAL BUILDINGS LARGER TREES SHALL BE PROVIDED NEAR THE BUILDING PERIMETER (WITHIN 75 FEET) THE QUANTITY OF TREES SHALL BE EQUAL TO ONE TREE FOR EVERY 40 FEET OF GENERAL BUILDING PERIMETER. THE TREE SIZE SHALL BE BASED UPON THE HEIGHT OF THE BUILDING	ALL ISLANDS ARE PLANTED WITH TREES, SHRUBS, AND GROUND COVER. ALL PARKING IS SCREENED BY AN EVERGREEN HEDGE (IGC) AND (TL). ONE STORY BUILDING BUILDING PERIMETER: 358.7' REQUIRED: 358.7/40 = 8.9 OR 9 TREES PROPOSED: 9 EXISTING TREES

PLANT SCHEDULE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
EVERGREEN TREES	4	Picea pungens 'Glaucia' / Colorado Blue Spruce	8-10"	B+B
PGC	4	Thuja plicata 'Green Giant' / Western Red Cedar	8-10"	B+B
ORNAMENTAL TREES	4	Amelanchier x grandiflora 'Autumn Brilliance' / 'Autumn Brilliance' Serviceberry	6-7"	B+B
AGAB	4			
SHADE TREES	4	Gleditsia triacanthos inermis 'Skycole' TM / Skyline Throssless Honey Locust	1 1/2 - 3' / 12" H.	B+B
GTIS	5			
DECIDUOUS SHRUBS	8	Aronia melanocarpa / Low Scape Mound Aronia	15-18"	1 GAL.
AM	8			
EVERGREEN SHRUBS	79	Ilex glabra 'Compacta' / Compact Inkberry	24-30"	B+B
IGC	44	Juniperus horizontalis 'Bar Harbor' / Bar Harbor Creeping Juniper	15-18" SPRD.	3 GAL.
JHSH	86	Thuja occidentalis 'Little Giant' / Little Giant Arborvitae	24-30"	B+B
TL	86			
ORNAMENTAL GRASSES	36	Sporobolus heterolepis / Prairie Dropseed	18-24"	2 GAL.
SH	36			



## LANDSCAPE SPECIFICATIONS

- QUALITY OF WORK AND MATERIALS
  - THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH THESE SPECIFICATIONS, APPROVED OR FINAL DRAWINGS, AND INSTRUCTIONS PROVIDED BY THE PROJECT LANDSCAPE ARCHITECT, MUNICIPAL OFFICIALS, OR OWNER/OWNER'S REPRESENTATIVE. ALL PLANTS COMPLETED AND MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH THE INTENTION OF THE SPECIFICATIONS, DRAWINGS, AND INSTRUCTIONS AND EXECUTED WITH THE STANDARD LEVEL OF CARE FOR THE LANDSCAPE INDUSTRY.
  - WEATHER CONDITIONS
  - WORK MUST BE CARRIED OUT ONLY DURING WEATHER CONDITIONS FAVORABLE TO LANDSCAPE CONSTRUCTION AND TO THE HEALTH AND WELFARE OF PLANTS. THE SUITABILITY OF SUCH WEATHER CONDITIONS SHALL BE DETERMINED BY THE PROJECT LANDSCAPE ARCHITECT OR GOVERNING MUNICIPAL OFFICIAL.
  - SAMPLES
  - IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, BEFORE ORDERING OR PURCHASING MATERIALS, TO PROVIDE SAMPLES OF THOSE MATERIALS TO THE PROJECT LANDSCAPE ARCHITECT OR GOVERNING MUNICIPAL OFFICIAL FOR APPROVAL, IF SO REQUESTED.
  - THE LANDSCAPE CONTRACTOR IS TO SUBMIT CERTIFICATION TAGS FROM TREES, SHRUBS AND SEED VERIFYING TYPE AND PURITY.
  - NOTIFICATION OF DELIVERY
  - UNLESS OTHERWISE AUTHORIZED BY THE PROJECT LANDSCAPE ARCHITECT OR GOVERNING MUNICIPAL OFFICIAL, THE LANDSCAPE CONTRACTOR SHALL PROVIDE NOTICE AT LEAST FORTY-EIGHT HOURS (48 HRS) IN ADVANCE OF THE ANTICIPATED DELIVERY DATE OF ANY PLANT MATERIALS TO THE PROJECT SITE. A LEGIBLE COPY OF THE INVOICE, SHOWING VARIETIES AND SIZES OF MATERIALS INCLUDED FOR EACH SHIPMENT SHALL BE FURNISHED TO THE PROJECT LANDSCAPE ARCHITECT, OR GOVERNING MUNICIPAL OFFICIAL.
  - THE PROJECT LANDSCAPE ARCHITECT OR GOVERNING MUNICIPAL OFFICIAL RESERVES THE RIGHT TO INSPECT AND REJECT PLANTS AT ANY TIME AND AT ANY PLACE.
  - PROTECTION OF EXISTING VEGETATION
  - BEFORE COMMENCING WORK, ALL EXISTING VEGETATION WHICH COULD BE IMPACTED AS A RESULT OF THE PROPOSED CONSTRUCTION ACTIVITIES MUST BE PROTECTED FROM DAMAGE BY THE INSTALLATION OF TREE PROTECTION FENCING. FENCING SHALL BE INSTALLED WITHIN THE TREE PROTECTION ZONE AS DEFINED WITHIN THE APPROVED OR FINAL PLAN SET, ESTABLISHING THE TREE PROTECTION ZONE. FENCE INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE PROTECTION FENCE DETAIL." NO WORK MAY BEGIN UNTIL THIS REQUIREMENT IS FULLY MET. THE FENCING SHALL BE INSPECTED REGULARLY BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED.
  - IN ORDER TO AVOID DAMAGE TO ROOTS, BARK OR LOWER BRANCHES, NO VEHICLE, EQUIPMENT, DEBRIS, OR OTHER MATERIALS SHALL BE PLACED WITHIN THE TREE PROTECTION ZONE. ALL ON-SITE CONTRACTORS SHALL USE ANY AND ALL PRECAUTIONARY MEASURES WHEN PERFORMING WORK AROUND TREES, WALKS, PAVEMENTS, UTILITIES, AND ANY OTHER FEATURES EITHER EXISTING OR PREVIOUSLY INSTALLED UNDER THIS CONTRACT.
  - IN RARE INSTANCES WHERE EXCAVATING, FILL, OR GRADING IS REQUIRED WITHIN THE DRIP-LINE OF TREES TO REMAIN, THE WORK SHALL BE PERFORMED AS FOLLOWS:
    - TRENCHING: WHEN TRENCHING OCCURS AROUND TREES TO REMAIN, THE TREE ROOTS SHALL NOT BE CUT, BUT THE TRENCH SHALL BE TUNNELED UNDER OR AROUND THE ROOTS BY CAREFUL HAND DIGGING AND WITHOUT INJURY TO THE ROOTS. NO ROOTS, LIMBS, OR WOODS ARE TO HAVE ANY PAINT OR MATERIAL APPLIED TO ANY SURFACE.
    - RAISING GRADES: WHEN THE GRADE AT AN EXISTING TREE IS BELOW THE NEW FINISHED GRADE, AND FILL NOT EXCEEDING 6 INCHES (6") IS REQUIRED, CLEAN WASHES GRAVEL FROM ONE TO TWO INCHES (1" - 2") IN SIZE SHALL BE PLACED DIRECTLY AROUND THE TREE TRUNK. THE GRAVEL SHALL EXTEND OUT FROM THE TRUNK ON ALL SIDES A MINIMUM OF 18 INCHES (18") AND FINISH APPROXIMATELY TWO INCHES (2") ABOVE THE FINISH GRADE AT INSTALL. INSTALL GRAVEL BEFORE ANY EARTH FILL IS PLACED. NEW EARTH FILL SHALL NOT BE LEFT IN CONTACT WITH THE TRUNK OF ANY TREE REQUIRING FILL. WHERE FILL EXCEEDS 6 INCHES (6") IS REQUIRED, A DRY LAD TREE WELL SHALL BE CONSTRUCTED. IF APPLICABLE, TREE WELL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE WELL DETAIL."
    - LOWERING GRADES: EXISTING TREES LOCATED IN AREAS WHERE THE NEW FINISHED GRADE IS TO BE LOWERED, SHALL HAVE RE-GRADING WORK DONE BY HAND TO THE INDICATED ELEVATION, NO GREATER THAN SIX INCHES (6"). ROOTS SHALL BE CUT CLEANLY THREE INCHES (3") BELOW FINISHED GRADE UNDER THE DIRECTION OF A LICENSED ARBORIST. WHERE CUT EXCEEDS 6 INCHES (6") IS REQUIRED, A DRY LAD RETAINING WALL SHALL BE CONSTRUCTED. IF APPLICABLE, THE RETAINING WALL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE RETAINING WALL DETAIL."
- SOIL AMENDMENTS
  - LANDSCAPE CONTRACTOR SHALL OBTAIN A SOIL TEST OF THE IN-SITU TOPSOIL BY A CERTIFIED SOIL LABORATORY PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL ALLOW FOR A TWO WEEK TURNAROUND TIME FROM SUBMITTAL OF SAMPLE TO NOTIFICATION OF RESULTS. THE FENCING SHALL BE INSPECTED REGULARLY BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED.
  - BASED ON SOIL TEST RESULTS, ADJUST THE RATES OF LIME AND FERTILIZER THAT SHALL BE MIXED INTO THE TOP SIX INCHES (6") OF TOPSOIL. THE LIME AND FERTILIZER RATES PROVIDED WITHIN THE "SEED SPECIFICATION" OR "SOIL SPECIFICATION" IS APPROPRIATE AND FOR BIDDING PURPOSES ONLY. IF ADDITIONAL AMENDMENTS ARE NECESSARY, ADJUST THE TOPSOIL AS FOLLOWS:
    - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM.
    - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
- TOPSOIL
  - TOPSOIL SHALL BE FERTILE, FRAGILE, NATURAL, TOPSOIL OF LOAMING CHARACTER, WITHOUT ADMIXTURE OF SUBSOIL MATERIAL OBTAINED FROM A WELL-DRAINED ARABLE SITE, FREE FROM ALL CLAY LUMPS, COARSE SANDS, STONES, PLANTS, ROOTS, STICKS, AND OTHER FOREIGN MATERIAL GREATER THAN ONE INCH (1").
  - TOPSOIL SHALL HAVE A RANGE OF 5.0 TO 7.0 AND SHALL NOT CONTAIN LESS THAN 6% ORGANIC MATTER BY WEIGHT.
  - OBTAIN TOPSOIL ONLY FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT THE PROJECT SITE.
  - CONTRACTOR SHALL PROVIDE A SIX INCH (6") DEEP LAYER OF TOPSOIL IN ALL PLANTING AREAS. TOPSOIL SHALL BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN SOIL CONDITIONS.
- FINISHED GRADING
  - UNLESS OTHERWISE NOTED IN THE CONTRACT, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE GRADING WITHIN THE DISTURBED AREA OF THE SITE.
  - LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE SUB-GRADE ELEVATION MEETS THE FINISHED GRADE ELEVATION (LESS THE REQUIRED TOPSOIL), IN ACCORDANCE WITH THE APPROVED OR FINAL GRADING PLAN.
  - ALL LAWN AND PLANTING AREAS SHALL BE GRADDED TO A SMOOTH AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THE APPROVED OR FINAL CONSTRUCTION SET UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT OR MUNICIPAL OFFICIAL.
  - ALL PLANTING AND LAWN AREAS SHALL BE GRADDED AND MAINTAINED TO ALLOW A FREE FLOW OF SURFACE WATER.
- LAWN (SEED OR SOD)
  - SEED MIXTURE SHALL BE FRESH, CLEAN, NEW CROP SEED. SOD SHALL BE STRONGLY ROOTED, UNIFORM IN THICKNESS, AND FREE OF WEEDS, DISEASE, AND PESTS.
  - SEED OR SOD SHALL BE PURCHASED FROM A RECOGNIZED DISTRIBUTOR AND SHALL BE COMPOSED OF THE MIX OR BLEND WITHIN THE PROVIDED "SEED SPECIFICATION" OR "SOD SPECIFICATION."
  - REFERENCE LANDSCAPE PLAN FOR AREAS TO BE SEED OR LAID WITH SOD.
  - SEEDING SHALL NOT BE PERFORMED IN WINDY WEATHER. IF THE SEASON OF THE PROJECT COMPLETION PROHIBITS PERMANENT STABILIZATION, TEMPORARY STABILIZATION SHALL BE PROVIDED IN ACCORDANCE WITH THE TEMPORARY SEEDING SPECIFICATION.
- PROTECT NEW LAWN AREAS AGAINST STABILIZING WHILE THE SEED IS GERMINATING. FURNISH AND INSTALL FENCES, SIGNS, BARRIERS OR ANY OTHER NECESSARY TEMPORARY PROTECTIVE DEVICES. DAMAGE RESULTING FROM TRESPASS OR OTHER UNLAWFUL ACTS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR AT HIS EXPENSE. REMOVE ALL FENCES, SIGNS, BARRIERS OR OTHER TEMPORARY PROTECTIVE DEVICES ONCE LAWN HAS BEEN ESTABLISHED.
- PLANT QUALITY
  - ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z601-2004) OR LATEST REVISION AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
  - IN ALL CASES, BOTANICAL NAMES LISTED WITHIN THE APPROVED OR FINAL PLAN SET SHALL TAKE PRECEDENCE OVER COMMON NAMES.
  - ALL PLANTS SHALL BE OF SELECTED SPECIMEN QUALITY, EXCEPTIONALLY HEAVY, TIGHTLY KNIT, SO TRAINED OR FAVORED IN THEIR DEVELOPMENT AND APPEARANCE AS TO BE SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY. ALL PLANTS SHALL HAVE A NORMAL HABIT OR SOUND, HEALTHY, VIGOROUS PLANTS WITH WELL DEVELOPED ROOT SYSTEM. PLANTS SHALL BE FREE OF DAMAGE, INSECT PESTS, EGGS OR LARVAE.
  - PLANTS SHALL NOT BE PRUNED BEFORE DELIVERY. TREES WITH ABRASION OF THE BARK, SUNSCALDS, DISFURNING KNOTS OR FRESH CUTS OF LIMBS OR ONE-FOURTH INCHES (1/4") WHICH DO NOT COMPLETELY CALLOUSED SHALL BE REJECTED.
  - ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH AND BE LEAFY TAGGED WITH THE PROPER NAME AND SIZE.
  - THE ROOT SYSTEM OF EACH PLANT SHALL BE WELL PROVIDED WITH FIBROUS ROOTS. ALL PARTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF.
  - ALL PLANTS DESIGNATED BALL AND BURLAP (BAB) MUST BE MOVED WITH THE ROOT SYSTEM AS SOLID UNITS WITH BALLS OF EARTH FIRMLY WRAPPED WITH BURLAP. THE DIAMETER AND DEPTH OF THE BALLS OF EARTH MUST BE SUFFICIENT TO ENCOMPASS THE FIBROUS ROOT FEEDING SYSTEM NECESSARY FOR

THE HEALTHY DEVELOPMENT OF THE PLANT. NO PLANT SHALL BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN PREPARATORY TO OR DURING THE PROCESS OF PLANTING. THE BALLS SHALL REMAIN INTACT DURING ALL OPERATIONS. ALL PLANTS THAT CANNOT BE PLANTED AT ONCE MUST BE KEPT IN THE GROUND AND COVERED WITH SOIL OR MULCH AND THEN WATERED. HEMP BURLAP AND TWINE IS PREFERABLE TO TREATED. IF TREATED BURLAP IS USED, ALL TWINE IS TO BE CUT FROM AROUND THE TRUNK AND ALL BURLAP IS TO BE REMOVED.

UNLESS SPECIFICALLY NOTED AS MULTI-STEM, THE TRUNK OF EACH TREE SHALL BE A SINGLE TRUNK GROWING FROM A SINGLE CROWN OF ROOTS. NO PART OF THE TRUNK SHALL BE CONSPICUOUSLY CROOKED AS COMPARED WITH NORMAL TREES OF THE SAME VARIETY.

PLANTS TRANSPORTED TO THE PROJECT IN OPEN VEHICLES SHALL BE COVERED WITH TARP OR OTHER SUITABLE COVER SECURELY FASTENED TO THE BODY OF THE VEHICLE TO PREVENT INJURY TO THE PLANTS. CLOSED VEHICLES SHALL BE ADEQUATELY VENTILATED TO PREVENT OVERHEATING OF THE PLANTS. EXHAUSTING OF EXCESSIVE PROTECTION FOLLOWING DIGGING, CARELESSNESS WHILE IN TRANSIT, OR IMPROPER HANDLING OR STORAGE SHALL BE CAUSE FOR REJECTION OF PLANT MATERIAL. ALL PLANTS SHALL BE KEPT MOIST, PROTECTED, SUCH PROTECTION SHALL ENCOMPASS THE ENTIRE PERIOD DURING WHICH THE PLANTS ARE IN TRANSIT, BEING HANDLED, OR ARE IN TEMPORARY STORAGE.

PLANT MEASUREMENTS

- PLANTS SHALL BE MEASURED WHEN BRANCHES ARE IN THEIR NORMAL POSITION.
- SHRUBS SHALL MEET THE REQUIREMENTS FOR SPREAD, HEIGHT OR CONTAINER SIZE STATED IN THE APPROVED OR FINAL PLANT LIST. THE MEASUREMENTS ARE TO BE TAKEN FROM THE GROUND LEVEL TO THE AVERAGE HEIGHT OF THE SHRUB AND NOT TO THE LONGEST BRANCH.
- CALIPER MEASUREMENTS FOR NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GROUND LEVEL. FOR TREES UP TO FOUR INCHES (4") IN CALIPER, AND AT A POINT 12 INCHES (12") ABOVE THE NATURAL GROUND LEVEL, FOR TREES EXCEEDING FOUR INCHES (4") IN CALIPER.
- THE MEASUREMENTS SPECIFIED ARE THE MINIMUM SIZE ACCEPTABLE AND, WHERE PRUNING IS REQUIRED, ARE THE MEASUREMENTS AFTER PRUNING.

PLANTING OPERATIONS

- THE LANDSCAPE CONTRACTOR SHALL PROVIDE SUFFICIENT TOOLS AND EQUIPMENT REQUIRED TO CARRY OUT THE PLANTING OPERATIONS.
- ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE CORRESPONDING LANDSCAPE PLAN AND PLANTING DETAILS.
- LANDSCAPE CONTRACTOR SHALL MAKE BEST EFFORT TO INSTALL PLANTINGS ON THE SAME DAY AS DELIVERY. PLANTS THAT REMAIN UNPLANTED FOR A PERIOD OF TIME GREATER THAN THREE (3) DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH AND WATERED AS REQUIRED TO PRESERVE ROOT MOISTURE.
- NO PLANT MATERIAL SHALL BE PLANTED IN MUDDY OR FROZEN SOIL.
- PLANTS WITH INJURED ROOTS OR BRANCHES SHALL BE PRUNED PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY DISEASED OR INJURED PLANTS SHALL BE REMOVED.
- IF ROCK OR OTHER UNDERGROUND OBSTRUCTION IS ENCOUNTERED, THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO RELOCATE OR ENLARGE PLANTING PITS OR DELETE PLANT MATERIAL FROM THE CONTRACT.
- INSTALLATION OF PLANT MATERIAL WITHIN SIGHT TRIANGLES IS DISCOURAGED. IF PLANTS MUST BE PLANTED WITHIN SIGHT TRIANGLES, TREES SHALL BE LIMBED AND MAINTAINED TO A HEIGHT OF SEVEN FEET (7') ABOVE GRADE, AND SHRUBS, GROUND COVER, PERENNIALS, AND ANNUALS SHALL BE MAINTAINED TO A HEIGHT NOT TO EXCEED TWO FEET (2') ABOVE GRADE UNLESS OTHERWISE NOTED OR SPECIFIED BY THE GOVERNING MUNICIPALITY OR AGENCY.
- INSTALLATION SHALL OCCUR DURING THE FOLLOWING SEASONS:
  - PLANTS (MARCH 15 - DECEMBER 15)
  - LAWNS (MARCH 15 - JUNE 15 OR SEPTEMBER 1 - DECEMBER 1)
- THE FOLLOWING TREES ARE SUSCEPTIBLE TO TRANSPLANT SHOCK AND SHALL NOT BE PLANTED DURING THE FALL SEASON (SEPTEMBER 15 - NOVEMBER 15):
 

ABIES COLORADO	CORNUS VARIETIES	OSTRYA VIRGINIANA
ACER BURNINGHAM	CRAEAGUS VARIETIES	PNUS NIGRA
ACER FRIESEMANN	CUPRESSOCYPERUS LEYLANDII	PLATANUS VARIETIES
ACER RUBRUM	FAGUS VARIETIES	POPULUS VARIETIES
ACER SACCHARINUM	HALESIA VARIETIES	PRUNUS VARIETIES
ALNUS VARIETIES	HELIOPSIS SCUTELLARIA	PRUNUS VARIETIES
CARPINUS VARIETIES	QUERCUS VARIETIES	QUERCUS VARIETIES (NOT Q. PALUSTRIS)
CEDRUS DEODARA	LEX NELLE STEVENS	SALIX WEeping VARIETIES
CILICIA VARIETIES	LEX OPACA	SCIRPUS VARIETIES
CERCIDIPHYLLUM VARIETIES	JUNIPERUS VIRGINIANA	TAXODIUM VARIETIES
CERCIS CANADENSIS	KOELERUTHERIA PANICULATA	TAXUS B. REPANDENS
CORNUS VARIETIES	LIQUIDAMBAR VARIETIES	TRILIA TOMENTOSA VARIETIES
CRAEAGUS VARIETIES	MALUS IN LEAF	ULMUS PARVIFLORA VARIETIES
	NYSSA SYLVATICA	ZELKOVA VARIETIES

THE LANDSCAPE CONTRACTOR SHALL MAKE HIS BEST EFFORT TO LOCATE THE PLANT MATERIAL SPECIFIED ON THE APPROVED OR FINAL PLANT LIST.

IF A PLANT IS UNAVAILABLE OR ON THE FALL DIGGING HAZARD LIST AN EQUIVALENT SPECIES OF THE SAME SIZE MAY BE REQUESTED FOR SUBSTITUTION OF THE ORIGINAL PLANT.

ALL SUBSTITUTIONS SHALL BE APPROVED BY THE PROJECT LANDSCAPE ARCHITECT OR MUNICIPAL OFFICIAL PRIOR TO ORDERING AND INSTALLATION.

MULCH

- DOUBLE SHREDED HARDWOOD MULCH OR APPROVED EQUAL SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL SHRUB PLANTING BEDS AND ALL TREES PLANTED BY LANDSCAPE CONTRACTOR. GROUND COVER, PERENNIAL, AND ANNUAL PLANTING BEDS SHALL BE MULCHED WITH A TWO INCH (2") TOP DRESSING. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO AVOID CONTACT WITH THE TRUNK OR PLANT STEM. MULCH SHALL BE OF SUFFICIENT CHARACTER AS NOT TO BE EASILY DISPLACED BY WIND OR WATER RUNOFF.
- IRRIGATION
- LANDSCAPE CONTRACTOR SHALL WATER NEW PLANTINGS FROM TIME OF INSTALL AND THROUGHOUT REQUIRED 90-DAY MAINTENANCE PERIOD UNTIL PLANTS ARE ESTABLISHED. IF ON-SITE WATER IS NOT AVAILABLE AT THE PROJECT, THE LANDSCAPE CONTRACTOR SHALL FURNISH IT BY MEANS OF A WATERING TRUCK OR OTHER ACCEPTABLE MANNER.
- THE QUANTITY OF WATER APPLIED AT ONE TIME SHALL BE SUFFICIENT TO PENETRATE THE SOIL TO A MINIMUM OF EIGHT INCHES (8") IN SHRUB BEDS AND SIX INCHES (6") IN TURF AREAS AT A RATE WHICH WILL PREVENT SATURATION OF THE SOIL.
- IF AN AUTOMATIC IRRIGATION SYSTEM HAS BEEN INSTALLED, IT CAN BE USED FOR WATERING PLANT MATERIAL. HOWEVER, FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY OF PLANT CARE AND ESTABLISHMENT.
- CLEAN UP
- DURING THE COURSE OF CONSTRUCTION/PLANT INSTALLATION, EXCESS AND WASTE MATERIALS SHALL BE CONTINUOUSLY AND PROMPTLY REMOVED AT THE END OF EACH WORK DAY. ALL DEBRIS, MATERIALS, AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF AND ALL PAVED AREAS SHALL BE CLEANED.
- THE LANDSCAPE CONTRACTOR SHALL DISPOSE OF ALL RUBBISH AND EXCESS SOIL AT HIS EXPENSE TO OFF-SITE LOCATION AS APPROVED BY THE LOCAL MUNICIPALITY.
- GUARANTEE
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR (1YR) FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE PROJECT LANDSCAPE ARCHITECT, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE. LANDSCAPE CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND IN THE AMOUNT OF 10% OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND ONCE FINAL ACCEPTANCE HAS BEEN GRANTED BY THE PROJECT LANDSCAPE ARCHITECT, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE.
- THE LANDSCAPE CONTRACTOR SHALL REMOVE AND REPLACE DYING, DEAD, OR DEFECTIVE PLANT MATERIAL AT HIS EXPENSE. THE LANDSCAPE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ANY DAMAGES CAUSED BY HIS COMPANY'S OPERATIONS.
- ALL REPLACEMENT PLANTS SHALL BE OF THE SAME SPECIES AND SIZE AS SPECIFIED ON THE APPROVED OR FINAL PLANT LIST. REPLACEMENTS RESULTING FROM REMOVAL, LOSS, OR DAMAGE DUE TO OCCUPANCY OF THE PROJECT IN ANY PART, VANDALISM, PHYSICAL DAMAGE BY ANIMALS, VEHICLES, ETC., AND LOSSES DUE TO CURTAILMENT OF WATER BY LOCAL AUTHORITIES SHALL BE APPROVED AND PAID FOR BY THE OWNER.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO KEEP THE PLANTS IN A HEALTHY CONDITION.
- A 90-DAY MAINTENANCE PERIOD SHALL BEGIN IMMEDIATELY AFTER ALL PLANTS HAVE BEEN SATISFACTORILY INSTALLED.
- MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, REPLACING MULCH THAT HAS BEEN DISPLACED BY EROSION OR OTHER MEANS, REPAIRING AND RESHAPING WATER RINGS OR SAUCERS, MAINTAINING STAKES AND GUY'S IF ORIGINALLY REQUIRED, WATERING WHEN NEEDED OR DIRECTED, WEEDING, PRUNING, SPRAYING, FERTILIZING, MOWING THE LAWN, AND PERFORMING ANY OTHER WORK REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION.
- MOW ALL GRASS AREAS AT REGULAR INTERVALS TO KEEP THE GRASS HEIGHT FROM EXCEEDING THREE INCHES (3"). MOWING SHALL BE PERFORMED ONLY WHEN GRASS IS DRY. MOWER BLADE SHALL BE SET TO REMOVE NO MORE THAN ONE-TWENTY (1/20) OF THE GRASS LENGTH. WHEN THE AMOUNT OF GRASS IS HEAVY, IT SHALL BE REMOVED TO PREVENT DESTRUCTION OF THE UNDERLYING TURF. MOW GRASS AREAS IN SUCH A MANNER AS TO PREVENT CLIPPING FROM BLOWING ON PAVED AREAS, AND SIDEWALKS. CLEANUP AFTER MOWING SHALL INCLUDE SWEEPING OR BLOWING OF PAVED AREAS AND SIDEWALKS TO CLEAR THEM FROM MOWING DEBRIS.
- GRASS AREAS DAMAGED DURING THE PROCESS OF THE WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, WHO SHALL RESTORE THE DISTURBED AREA TO A CONDITION SATISFACTORY TO THE PROJECT LANDSCAPE ARCHITECT, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE. THIS MAY INCLUDE FILLING TO GRADE, FERTILIZING, SEEDING, AND MULCHING.
- SHOULD THE OWNER REQUIRE MAINTENANCE BEYOND THE STANDARD 90-DAY MAINTENANCE PERIOD, A SEPARATE CONTRACT SHALL BE ESTABLISHED.

PRELIMINARY AND FINAL  
SITE PLAN  
AUTOZONE (STORE #3644)  
BLOCK 6.07, LOT 14.02, TAX MAP SHEET #9  
40-50 PRINCETON-HIGHTSTOWN ROAD  
TOWNSHIP OF EAST WINDSOR  
MERCER COUNTY, NEW JERSEY

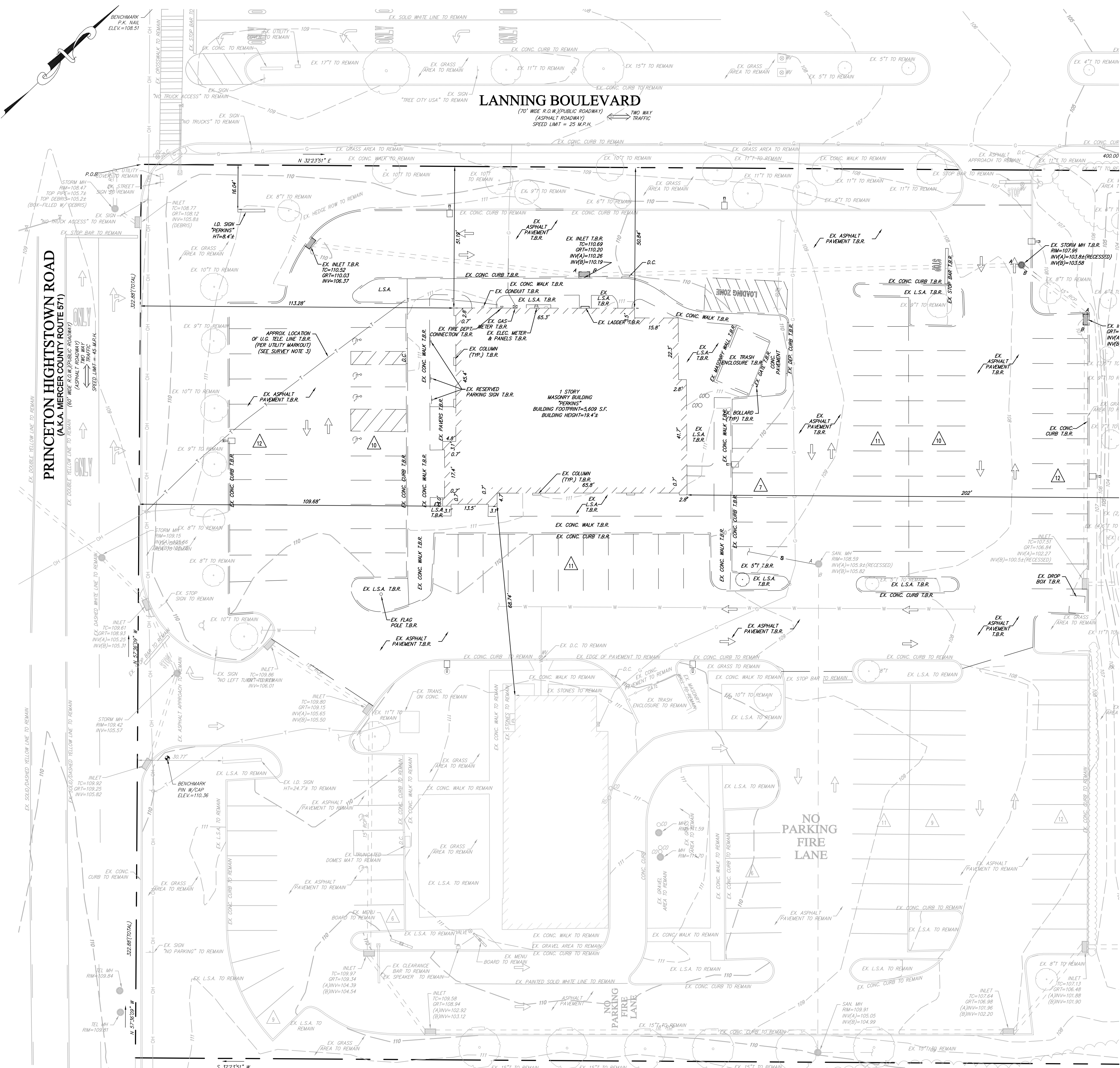
T. F. PUGSLEY, Jr.  
Professional Engineer  
NJ LICENSE NO. 43527

SHEET TITLE:  
**LANDSCAPE PLAN**

SHEET NO.:  
**L1.0**  
12 OF 13

DESIGN DATE: 7/20/22  
DESIGNED BY: NJH  
CHECKED BY: TFP  
DRAWING SCALE: As Shown  
PROJECT #: 21-020  
CAD FILE: 21-020L.S01  
ZONING DISTRICT: H-C ZONE

REVISION 1 11/10/22



T.B.R. = TO BE REMOVED

**NOTE: ALL EXISTING FEATURES WITHIN THE ROADWAY RIGHT-OF-WAYS SHALL REMAIN UNLESS OTHERWISE SPECIFIED ON THE DESIGN DOCUMENTS**

**NOTE: ALL EXISTING FEATURES IN THE IMPROVEMENT AREA SHALL BE REMOVED UNLESS OTHERWISE SPECIFIED ON THE DESIGN DOCUMENTS**

**CONTRACTOR TO REFER TO THE SOIL EROSION AND SEDIMENT CONTROL PLAN FOR THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES.**



**DEMOLITION NOTES:**

- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE, AND LOCAL REGULATIONS.
- THIS DEMOLITION PLAN IS TO IDENTIFY WHAT ITEMS ARE TO REMAIN AND TO BE REMOVED. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" TO PERFORM THE WORK. WITHIN THE SUBJECT PROPERTY, THE INTENT IS TO HAVE A CLEAN, CLEAR SITE, FREE OF ALL EXISTING ITEMS NOTED TO BE REMOVED IN ORDER TO PERMIT THE CONSTRUCTION OF THE NEW PROJECT.
- PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR THE FOLLOWING:
  - OBTAIN ALL REQUIRED PERMITS AND PROVIDE A COPY ON SITE DURING CONSTRUCTION.
  - INSTALL ALL SOIL EROSION MEASURES AND NOTIFY THE LOCAL SOIL CONSERVATION DISTRICT A MINIMUM OF 72 HOURS IN ADVANCE TO START OF CONSTRUCTION.
  - CONTACT "ONE-CALL" UTILITY LOCATING SERVICES AT 811 OR 1-800-272-1000. NO EXCAVATION SHALL BE PERFORMED WITHOUT A UTILITY MARKOUT. COORDINATE WITH THE UTILITY PROVIDERS TO ARRANGE SERVICE SHUT-OFFS, RECONNECTION, AND INSTALLATION OF NEW SERVICES. ANY UTILITY SERVICES PROVIDED BY THE CONTRACTOR SHALL BE PERFORMED IN ACCORDANCE WITH THE UTILITY COMPANIES REQUIREMENTS.
  - IDENTIFY EXISTING ABOVE OR UNDERGROUND UTILITY INFRASTRUCTURE OR OTHER SURFACE FEATURES THAT ARE TO REMAIN AND PROVIDE ADEQUATE PROTECTION OF SAME. ANY DAMAGES TO ITEMS NOT IDENTIFIED ON THE DESIGN DRAWINGS AS TO BE REMOVED WILL BE REPAIRED TO EQUAL OR BETTER CONDITION THAT IT WAS ORIGINALLY AT THE SOLE COST OF THE CONTRACTOR.
  - OBTAIN AND REVIEW ANY GEOTECHNICAL OR OTHER RELEVANT DESIGN DOCUMENTS AND FOLLOWING ANY GUIDELINES PROVIDED IN SAME.
  - DOCUMENT THE EXISTING CONDITIONS ON-SITE AND ON THE ADJACENT PROPERTIES AND ROADWAYS AND KEEP FOR YOUR RECORDS.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH AND ENFORCING THE LATEST REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) OF 1970 (29 U.S.C. 651 et seq.) AND THE NEW JERSEY UNDERGROUND FACILITY PROTECTION ACT (N.J.S.A. 48-2.73 et seq.).
- CONTRACTOR IS RESPONSIBLE FOR JOB SITE SAFETY AND SUPERVISION. NORTH STAR DESIGN, LLC AND/OR ITS SUBCONSULTANTS IS NOT RESPONSIBLE FOR PERFORMING THESE SERVICES.
- PROCEED WITH DEMOLITION IN A SYSTEMATIC AND SAFE MANNER FOLLOWING ALL OSHA REQUIREMENTS.
- CONTRACTOR TO MONITOR AND MAINTAIN THE INSTALLED SOIL EROSION CONTROL MEASURES ON A REGULAR BASIS. ANY DEFICIENCIES IDENTIFIED SHOULD BE IMMEDIATELY ADDRESSED. CONTRACTOR SHALL UTILIZE DUST CONTROL MEASURES TO MINIMIZE AIRBORNE DUST IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.
- CONTRACTOR SHALL PROVIDE ALL "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES TO REMAIN ON-SITE AND ON ADJACENT PROPERTIES. ANY DAMAGE AND REPAIR THAT MAY OCCUR TO THESE STRUCTURES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- EXPLOSIVES SHALL NOT BE USED WITHOUT OBTAINING PRIOR WRITTEN CONSENT OF BOTH THE PROPERTY OWNER AND ALL APPLICABLE GOVERNMENTAL AUTHORITIES. ALL REQUIRED FEDERAL, STATE, AND LOCAL PERMITS MUST BE OBTAINED PRIOR TO COMMENCEMENT OF AN EXPLOSIVE PROGRAM. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND VIBRATING TESTING THAT IS REQUIRED TO MONITOR THE AFFECTS ON THE SURROUNDING PROPERTIES.
- CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS RESULTING FROM THE DEMOLITION PROCESS UTILIZING APPROVED BACKFILL MATERIALS AND SHALL BE SUFFICIENTLY COMPACTED TO SUPPORT NEW OR FUTURE IMPROVEMENTS. ALL EXCAVATIONS SHALL BE BACKFILLED IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL REPORT (IF AVAILABLE).
- CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL PLANS AND MEASURES REQUIRED TO PERFORM THE PROPOSED IMPROVEMENTS. THIS INCLUDES SIGNAGE, FLAGMEN, USE OF LOCAL POLICE OFFICERS, BARRIERS, CONES, CRASH TRUCKS, ETC. ALL MEASURES SHOULD COMPLY WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, THE DEPARTMENT OF TRANSPORTATION DESIGN STANDARDS, AND/OR ANY LOCAL REQUIREMENTS.
- NO CONSTRUCTION DEBRIS SHALL BE BURIED ON SITE. ALL CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE AND DISPOSED OF IN AN APPROVED FACILITY IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS. RECORDS OF ALL DISPOSAL LOCATIONS SHALL MAINTAINED BY THE CONTRACTOR AND SHALL BE PROVIDED TO THE PROPERTY OWNER, DESIGN ENGINEER, OR OTHER AGENCY UPON REQUEST.
- EQUIPMENT, MATERIALS, AND SPOILS SHALL BE REMOVED FROM THE PROJECT SITE UNLESS WRITTEN APPROVAL HAS BEEN PROVIDED BY THE PROPERTY OWNER AND THE LOCAL AGENCIES.
- TEMPORARY CONSTRUCTION FENCING SHALL BE PROVIDED AROUND THE PERIMETER OF THE SUBJECT SITE FOR THE LENGTH OF THE PROJECT TO PROTECT THE PUBLIC FROM ENTERING THE CONSTRUCTION AREA.
- ALL REQUIRED TEMPORARY SHORING REQUIRED TO CONSTRUCT THE PROPOSED IMPROVEMENTS IS THE RESPONSIBILITY OF THE CONTRACTOR.
- REMOVE ALL UTILITIES TO EXISTING STRUCTURES WHETHER SHOWN OR NOT. CUT AND CAP ALL UNDERGROUND LINES AT THE PROPERTY LINE UNLESS OTHERWISE NOTED.
- FOR ALL ITEMS NOTED TO BE REMOVED - REMOVE NOT ONLY THE ABOVE GROUND ELEMENTS, BUT ALL UNDERGROUND ELEMENTS AS WELL INCLUDING BUT NOT NECESSARILY LIMITED TO: FOUNDATIONS, GRAVEL FILLS, TREE ROOTS, OLD PIPE, ETC.



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 NJ CERTIFICATE OF AUTHORIZATION No. 2463839000

REV.	DATE	REVISION COMMENT	BY:
1	11/10/22	REV. PER DRAINAGE CALCS	CM

**PRELIMINARY AND FINAL SITE PLAN**  
**AUTOZONE (STORE #3644)**  
 BLOCK 6.07, LOT 14.02, TAX MAP SHEET #9  
 40-50 PRINCETON-HIGHTSTOWN ROAD  
 TOWNSHIP OF EAST WINDSOR  
 MERCER COUNTY, NEW JERSEY

**T. F. PUGSLEY, Jr.**  
*T. F. Pugsley Jr.*  
 PROFESSIONAL ENGINEER  
 NJ LICENSE No. 43527

SHEET TITLE:  
**DEMOLITION PLAN**  
 SHEET NO.:  
**D1.0**  
 13 OF 13

DESIGN DATE: 7/20/22  
 DESIGNED BY: NTH  
 CHECKED BY: TFP  
 DRAWING SCALE: As Shown  
 PROJECT #: 21-020  
 CAD FILE: 21-020SS01  
 ZONING DISTRICT: H-C ZONE  
 REVISION 1 11/10/22

